

CITY OF CANTERBURY BANKSTOWN COUNCIL
DEVELOPMENT APPLICATION SUBMISSION

PROPOSED ATTACHED DEVELOPMENT TO :
NO. 103 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642]

LOCALITY MAP



COMPLIANCE TABLE			
103 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642] ZONE: R2 – LOW DENSITY RESIDENTIAL LOT A AREA: 315.52 M² LOT B AREA: 313.36 M²			
	CONTROL	PROPOSED 103 TOWER	PROPOSED 103A TOWER
LOT AREA	250M2	313.36 M2	315.52 M2
STOREY LIMIT	2	2	2
SITE FRONTAGE	15M	15.55M	15.55M
HEIGHT OF BUILDINGS	9M	COMPLIES – REFER ELEVATIONS	COMPLIES – REFER ELEVATIONS
FLOOR SPACE RATIO	0.5 : 1	0.5 : 1	0.5 : 1
GROSS FLOOR AREA		168.39 SQM	168.39 SQM
FRONT GROUND FLOOR PRIMARY SETBACK	5.5	6.3M	6.0M
FRONT FIRST FLOOR PRIMARY SETBACK	6.5	9.3M	8.6M
LANDSCAPING – FRONT SETBACK	MIN. 45%	59% (30.9 SQM)	49% (21.2 SQM)
PRIVATE OPEN SPACE	MIN. 80 SQM	COMPLIES	COMPLIES
CARPARKING	MIN 2 PER LOT	2	2

DRAWING LIST			
NO.	DRAWING TITLE	NO.	DRAWING TITLE
0.1	COVER PAGE	6.1	EXTERNAL FINISHES SCHEDULE + MATERIAL SAMPLE BOARD
1.1	SITE ANALYSIS PLAN	7.1	PROPOSED LANDSCAPE PLAN
1.2	DEMOLITION PLAN		
1.3	SUBDIVISION PLAN	8.1	WASTE MANAGEMENT PLAN + SEDIMENT CONTROL
1.4	AREA CALCULATIONS + COMPLIANCE TABLE		
		9.1	WINDOW + DOOR SCHEDULE
2.1	PROPOSED GROUND FLOOR PLAN		
2.2	PROPOSED FIRST FLOOR PLAN		
2.3	PROPOSED ROOF PLAN		
3.1	PROPOSED NORTH + EAST ELEVATION		
3.2	PROPOSED SOUTH + WEST ELEVATION		
4.1	PROPOSED SECTION AA + SECTION BB		
5.1	PROPOSED SHADOW DIAGRAM 22 JUNE 09AM		
5.2	PROPOSED SHADOW DIAGRAM 22 JUNE 12PM		
5.3	PROPOSED SHADOW DIAGRAM 22 JUNE 03PM		
5.4	PROPOSED SHADOW DIAGRAM 22 MARCH 09AM		
5.5	PROPOSED SHADOW DIAGRAM 22 MARCH 12PM		
5.6	PROPOSED SHADOW DIAGRAM 22 MARCH 03PM		

NOTES

1. ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY THE BUILDER AND A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS3500.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
8. ALL DEMOLITION AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS AND APPROVAL CONDITONS.
9. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE F AUSTRALIA (BCA).
10. SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

NOTES
1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

DRAWING TITLE
COVER PAGE

PROJECT
103 TOWER STREET PANANIA, NSW 2213

SCALE

DRAWING NO.	ISSUE	DATE	DRAWN BY	REVIEWED BY	PROJECT NO.
DA 0.1	A	03 Apr 2023	JH	NF	SYD23/381



318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

Project summary		
Project name	103 Tower Street, Panania - Lot103a	
Street address	103 Tower Street Panania 2213	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 27642	
Lot no.	5	
Section no.	-	
Project type	attached dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 41	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 53	Target 50

Certificate Prepared by
Name / Company Name: NLCONSULTANTS PTY LTD
ABN (if applicable): 57600679454

Assessor details and thermal loads	
Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m².year)	n/a
Area adjusted heating load (MJ/m².year)	n/a
Ceiling fan in at least one bedroom	n/a
Ceiling fan in at least one living room or other conditioned area	n/a
Project score	
Water	✔ 41 Target 40
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 53 Target 50

Project address	
Project name	103 Tower Street, Panania - Lot103a
Street address	103 Tower Street Panania 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 27642
Lot no.	5
Section no.	-
Project type	
Project type	attached dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	313
Roof area (m²)	175
Conditioned floor area (m2)	200.0
Unconditioned floor area (m2)	40.0
Total area of garden and lawn (m2)	93

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✔	✔
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔
Swimming pool			
The swimming pool must not have a volume greater than 30 kilolitres.	✔	✔	
The swimming pool must be outdoors.	✔	✔	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 120 square metres	nil	
floor - above habitable rooms or mezzanine, 120 square metres, concrete	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - brick veneer	1.86 (or 2.40 including construction)	
internal wall shared with garage - cavity brick wall	nil	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
<ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/UPVC/fibreglass single clearTimber/UPVC/fibreglass double (air) clearOvershadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	1.00	aluminium, moulded plastic single clear	no shading

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W-1.18	2700	2270	aluminium, single, clear	solid overhang 2695 mm, 500 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W0.16	2800	960	aluminium, single, clear	solid overhang 1500 mm, 300 mm above head of window or glazed door	not overshadowed
W-1.17	2700	3270	aluminium, single, clear	solid overhang 2600 mm, 300 mm above head of window or glazed door	not overshadowed
W0.17	565	1310	aluminium, single, clear	solid overhang 1500 mm, 200 mm above head of window or glazed door	not overshadowed

East facing					
W-1.15	930	900	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.11	3000	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.15	1200	1800	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.10	2810	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.12	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.12	700	920	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.16	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.13	700	1480	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.14	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.14	700	1380	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.13	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away

South facing					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W-0.9	2400	4540	aluminium, single, clear	solid overhang 3450 mm, 1200 mm above head of window or glazed door	not overshadowed
W-1.11	930	1600	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed
W-1.10	930	1600	aluminium, single, clear	eave 450 mm, 650 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning. Energy rating: 7.5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning. Energy rating: 7.5 star (average zone)		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 7.5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 7 star (average zone)		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">at least 1 of the living / dining rooms; dedicated		✔	✔
<ul style="list-style-type: none">the kitchen; dedicated		✔	✔
<ul style="list-style-type: none">all bathrooms/toilets; dedicated		✔	✔
<ul style="list-style-type: none">the laundry; dedicated		✔	✔
<ul style="list-style-type: none">all hallways; dedicated		✔	✔

Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔

Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (gas boosted)		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	

Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

NOTES

- Do not scale off this drawing. Use dimensions and architectural drawings only.
- Drawings to be read in conjunction with specification.
- Levels are indicative only and are to be checked.
- Authorities mains and or existing services are to be located and checked prior to commencement of any works.
- The information on this drawing is to be used for hydraulic and or fire protection services only.
- The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
- Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

DRAWING TITLE

BASIX (LOT 103A)

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

DRAWING NO.	ISSUE	DATE	DRAWN BY	REVIEWED BY	PROJECT NO.
DA 0.1.1	A	03 Apr 2023	JH	NF	SYD23/381

31B BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



Project summary		
Project name	103 Tower Street, Panania - Lot103	
Street address	103 Tower Street Panania 2213	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 27642	
Lot no.	5	
Section no.	-	
Project type	attached dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 44	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 55	Target 50

Certificate Prepared by

Name / Company Name: NLCONSULTANTS PTY LTD

ABN (if applicable): 57600679454

Project address

Project name	103 Tower Street, Panania - Lot103
Street address	103 Tower Street Panania 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 27642
Lot no.	5
Section no.	-
Project type	
Project type	attached dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	313
Roof area (m²)	175
Conditioned floor area (m2)	200.0
Unconditioned floor area (m2)	40.0
Total area of garden and lawn (m2)	136

Assessor details and thermal loads

Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m².year)	n/a	
Area adjusted heating load (MJ/m².year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	

Project score

Water	✔ 44	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 55	Target 50

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to:			
• all toilets in the development.		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

NOTES

- Do not scale off this drawing. Use dimensions and architectural drawings only.
- Drawings to be read in conjunction with specification.
- Levels are indicative only and are to be checked.
- Authorities mains and or existing services are to be located and checked prior to commencement of any works.
- The information on this drawing is to be used for hydraulic and or fire protection services only.
- The information on this drawing remains the property Nohad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
- Completion of the quality record is evidence that the design and the drawing have been verified.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 120 square metres	nil	
floor - above habitable rooms or mezzanine, 120 square metres, concrete	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - brick veneer	1.86 (or 2.40 including construction)	
internal wall shared with garage - cavity brick wall	nil	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✔
• Aluminium single clear			
• Aluminium double (air) clear			
• Timber/uPVC/fibreglass single clear			
• Timber/uPVC/fibreglass double (air) clear			
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	1.00	aluminium, moulded plastic single clear	no shading

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W-0.1	2200	1060	aluminium, single, clear	solid overhang 1500 mm, 0 mm above head of window or glazed door	not overshadowed
W-1.1	2700	2270	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W-1.2	2700	3270	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W0.17	565	1310	aluminium, single, clear	solid overhang 1500 mm, 200 mm above head of window or glazed door	not overshadowed

South facing					
W-0.8	2400	4540	aluminium, single, clear	solid overhang 3450 mm, 1200 mm above head of window or glazed door	not overshadowed
W-1.8	930	1600	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed
W-1.9	930	1600	aluminium, single, clear	eave 450 mm, 650 mm above head of window or glazed door	not overshadowed

West facing					
W-0.2	1200	1800	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.3	700	1480	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.4	700	1480	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.5	700	920	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.6	3000	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.7	2810	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.3	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W-1.4	930	900	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W-1.5	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W-1.6	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W-1.7	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 7.5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 7.5 star (average zone)		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 7.5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 7 star (average zone)		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔

Ventilation

The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 1 of the living / dining rooms; dedicated		✔	✔
• the kitchen; dedicated		✔	✔
• all bathrooms/toilets; dedicated		✔	✔
• the laundry; dedicated		✔	✔
• all hallways; dedicated		✔	✔

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

LEGEND

DRAWING TITLE

BASIX (LOT 103)

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

DRAWING NO.	ISSUE	DATE	DRAWN BY	REVIEWED BY	PROJECT NO.
DA 0.1.2	A	03 Apr 2023	JH	NF	SYD23/381

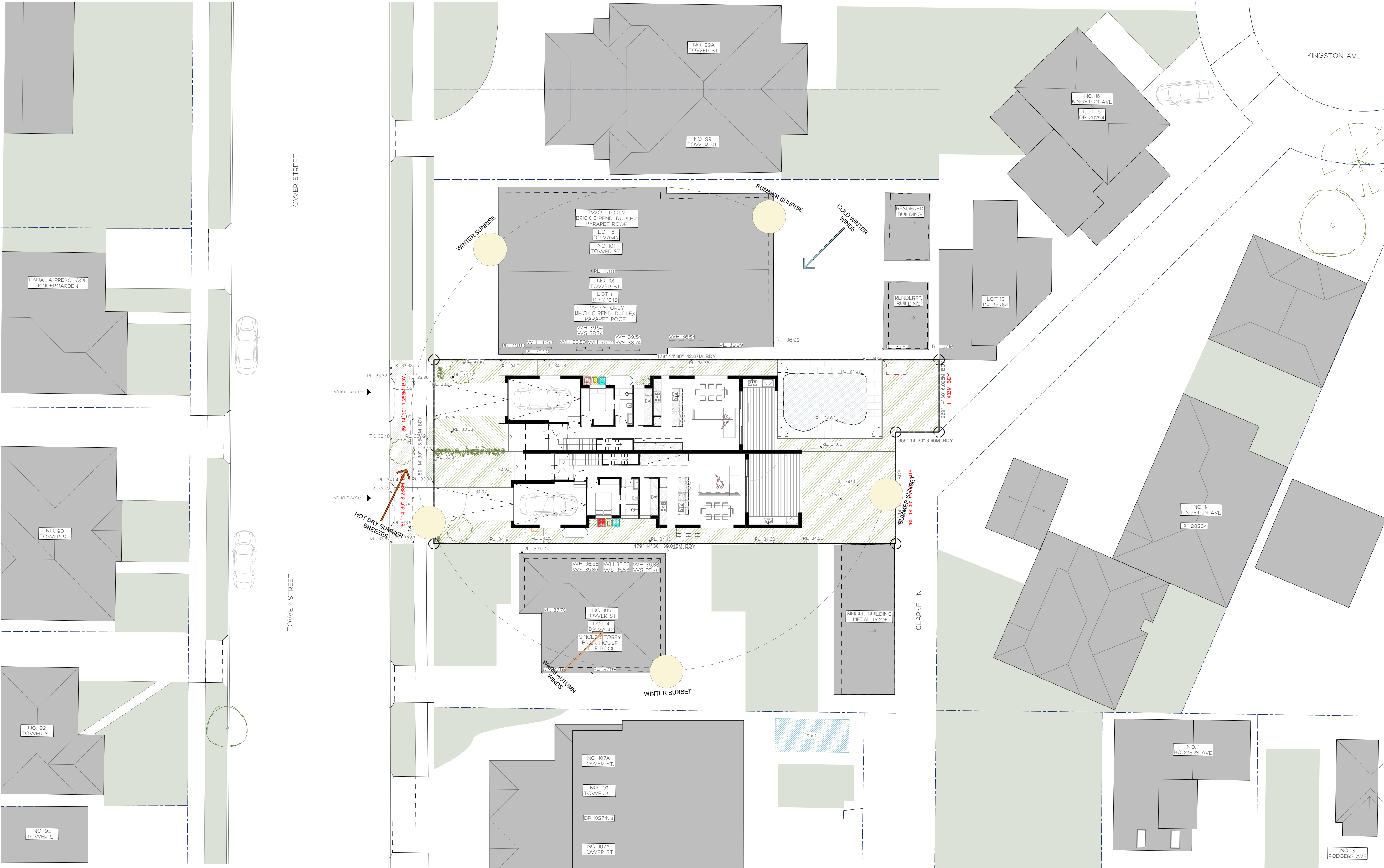


318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nuhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

- LOT BOUNDARY
- PROPOSED SUBDIVISION
- EXISTING BUILDING
- LANDSCAPE / DEEP SOIL

DRAWING TITLE

SITE ANALYSIS PLAN

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:200 @ A2

1:100 @ A1

0.0 2.0 4.0 6.0 8.0 10.0 12.0 M

DRAWING NO. DA 1.1

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381



318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819

NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH

B.E, MIE AUST, NER, CPENG

MEMBERSHIP NUMBER: 3312640

NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

	LOT BOUNDARY
	EXISTING STRUCTURE TO BE DEMOLISHED
	EXTENT OF PROPOSED DEVELOPMENT

DRAWING TITLE

DEMOLITION PLAN

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 1.2

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

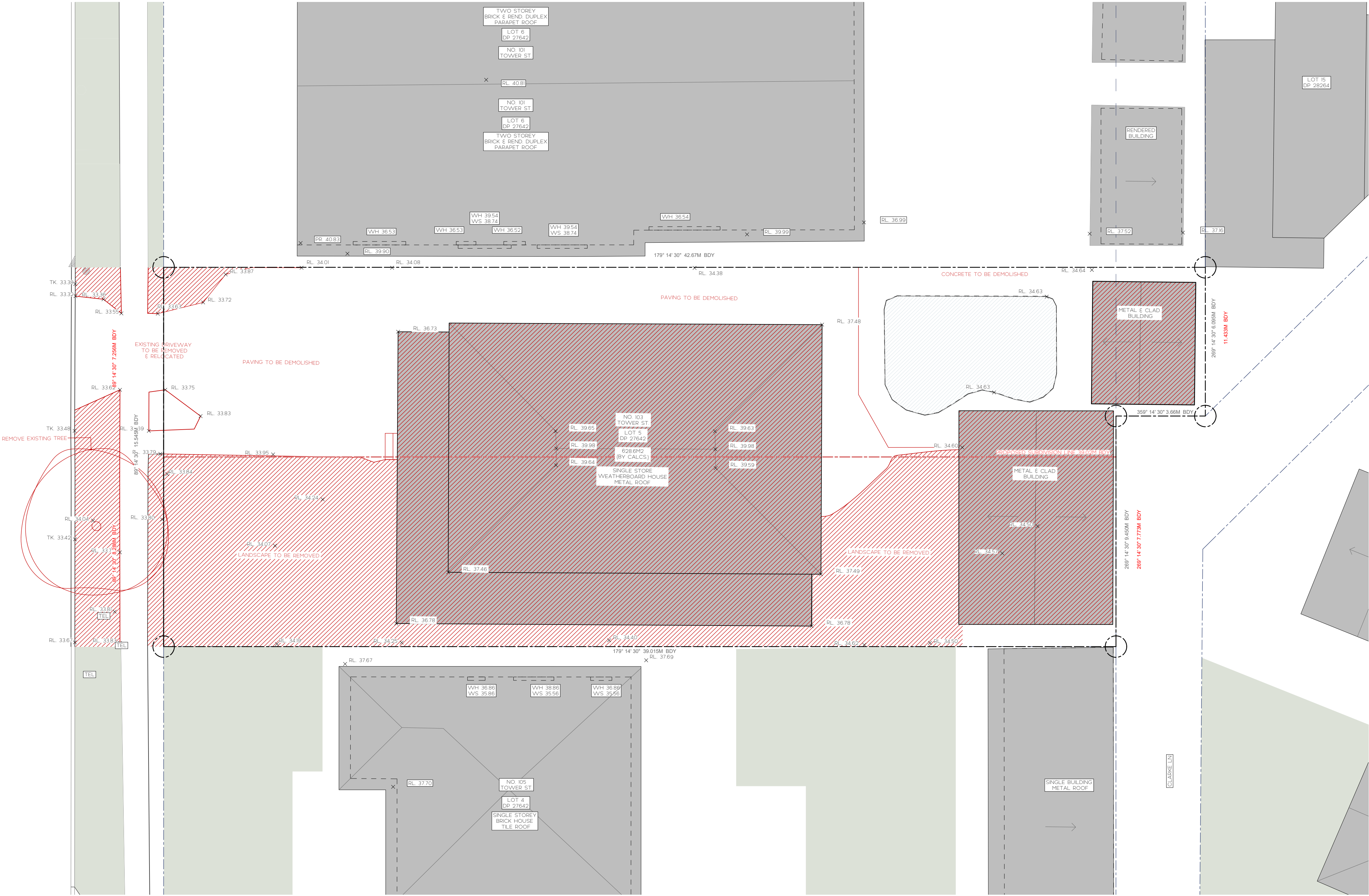
PROJECT NO. SYD23/381

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.

2. Drawings to be read in conjunction with specification.

3. Levels are indicative only and are to be checked.

4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.

5. The information on this drawing is to be used for hydraulic and or fire protection services only.

6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.

7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

LOT BOUNDARY

PROPOSED SUBDIVISION

DRAWING TITLE

SUBDIVISION PLAN

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2

1:50 @ A1

DRAWING NO.

DA 1.3

ISSUE

A

DATE

03 Apr 2023

DRAWN BY

JH

REVIEWED BY

NF

PROJECT NO.

SYD23/381

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819

NLCONSULTANTS@OUTLOOK.COM

SIGNED:

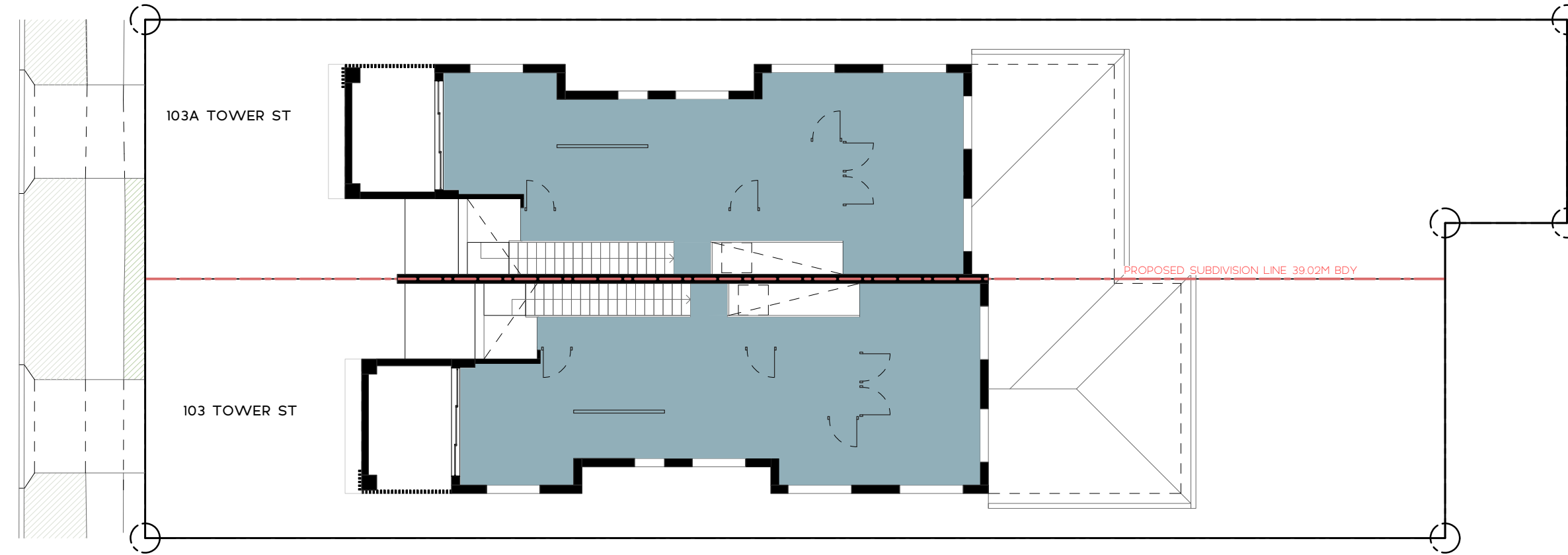
NOUHAD FARAH

B.E, MIE AUST, NER, CPENG

MEMBERSHIP NUMBER: 3312640



— GROUND FLOOR



— FIRST FLOOR

COMPLIANCE TABLE			
103 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642] ZONE: R2 - LOW DENSITY RESIDENTIAL LOT A AREA: 315.38 M ² LOT B AREA: 313.22 M ²			
	CONTROL	PROPOSED 103 TOWER	PROPOSED 103A TOWER
LOT AREA	250M ²	313.36 M ²	315.52 M ²
STOREY LIMIT	2	2	2
SITE FRONTAGE	15M	15.55M	15.55M
HEIGHT OF BUILDINGS	9M	COMPLIES - REFER ELEVATIONS	COMPLIES - REFER ELEVATIONS
FLOOR SPACE RATIO	0.5 : 1	0.5 : 1	0.5 : 1
GROSS FLOOR AREA		168.39 SQM	168.39 SQM
FRONT GROUND FLOOR PRIMARY SETBACK	5.5	6.3M	6.0M
FRONT FIRST FLOOR PRIMARY SETBACK	6.5	9.3M	8.6M
LANDSCAPING - FRONT SETBACK	MIN. 45%	59% (30.9 SQM)	49% (21.2 SQM)
PRIVATE OPEN SPACE	MIN. 80 SQM	COMPLIES	COMPLIES
CARPARKING	MIN 2 PER LOT	2	2

NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

- LOT BOUNDARY
- GROSS FLOOR AREA
- SITE COVERAGE
- LANDSCAPED AREA
- PRIVATE OPEN SPACE

DRAWING TITLE

AREA CALCULATION + COMPLIANCE TABLE

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:150 @ A2
1:75 @ A1

0.0 1.5 3 4.5 6 7.5 9.0 M

DRAWING NO. DA 1.4

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

NOTES
1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nuhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

[Symbol]	LOT BOUNDARY
[Symbol]	PROPOSED SUBDIVISION
[Symbol]	EXISTING BUILDING
[Symbol]	LANDSCAPE / DEEP SOIL

DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

PROJECT
103 TOWER STREET PANANIA, NSW 2213

SCALE
1:100 @ A2
1:50 @ A1

DRAWING NO.
DA 2.1

ISSUE
A

DATE
03 Apr 2023

DRAWN BY
JH

REVIEWED BY
NF

PROJECT NO.
SYD23/381

NLC
CONSULTANTS

318 BUCKWALL AVENUE GREENACRE, NSW 2190
CONTACT: 0434 575 819
NLCCONSULTANTS@OUTLOOK.COM
SIGNED:
NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nuhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

[Line Style]	LOT BOUNDARY
[Line Style]	PROPOSED SUBDIVISION
[Line Style]	EXISTING BUILDING
[Line Style]	LANDSCAPE / DEEP SOIL

DRAWING TITLE

PROPOSED FIRST FLOOR PLAN

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2

1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO.	ISSUE	DATE	DRAWN BY	REVIEWED BY	PROJECT NO.
DA 2.2	A	03 Apr 2023	JH	NF	SYD23/381



318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819

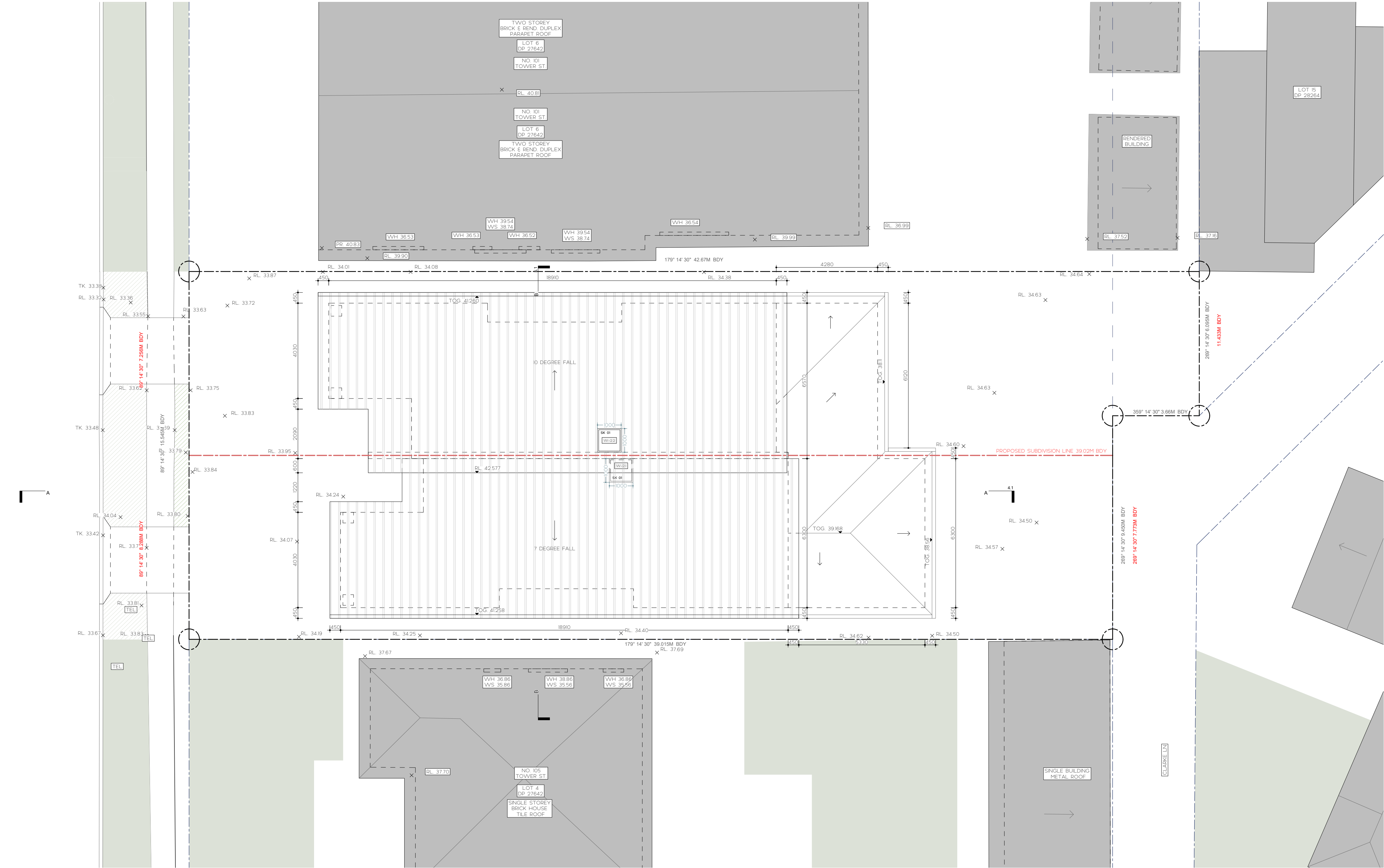
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH

B.E, MIE AUST, NER, CPENG

MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nohad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

- LOT BOUNDARY
- PROPOSED SUBDIVISION
- EXISTING BUILDING
- LANDSCAPE / DEEP SOIL

DRAWING TITLE

PROPOSED ROOF PLAN

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 2.3

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

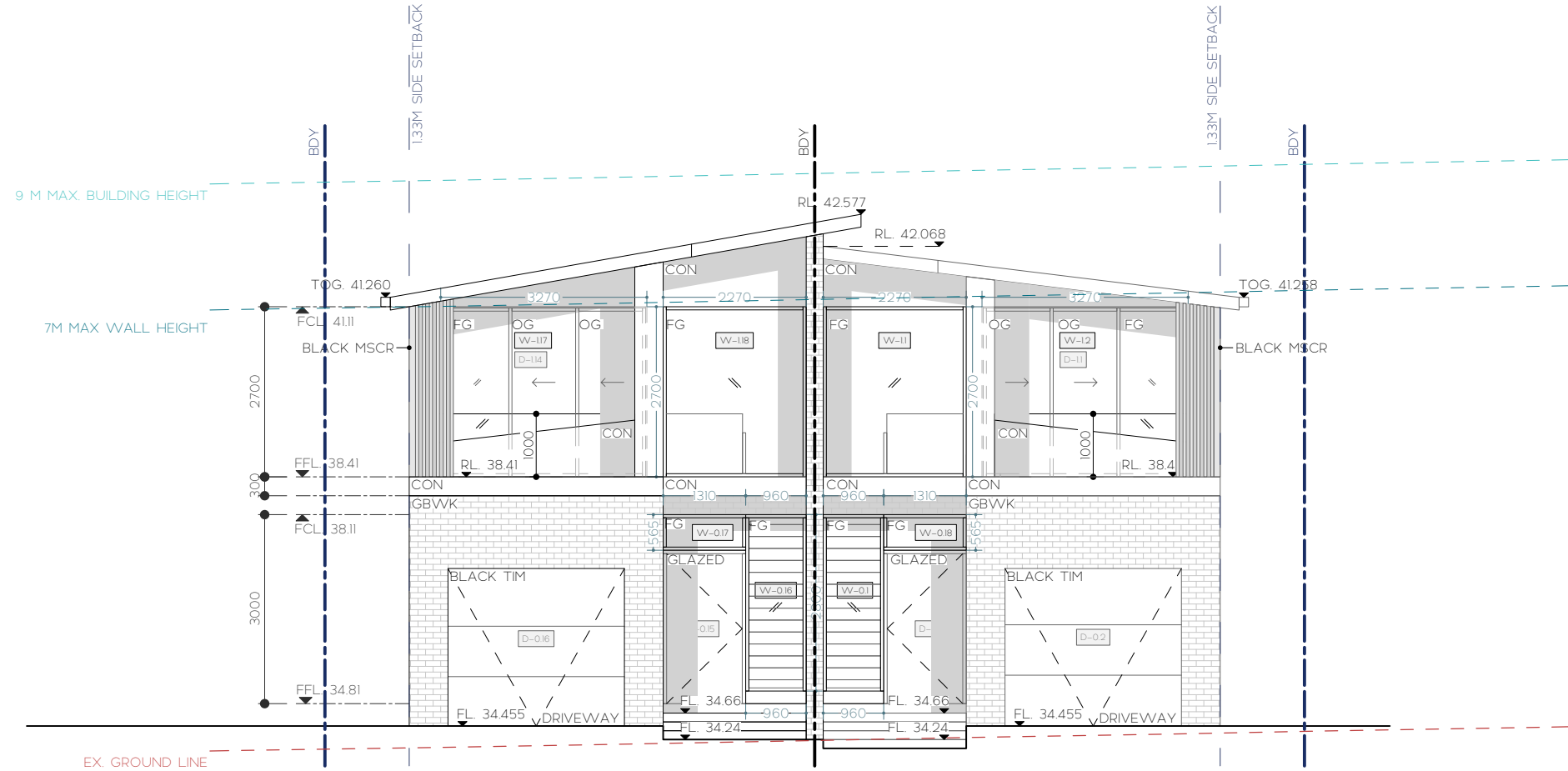
PROJECT NO. SYD23/381

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND			
OG	LOT BOUNDARY	MSCR	METAL SCREENING
FG	EXISTING BUILDING	MBAL	METAL BALUSTRADE
FTG	NATURAL GROUND	TIM	TIMBER FENCING
OTG	X M MAX. BUILDING HEIGHT	SSM	STANDING SEAM CLADDING
BWK1	X M MAX. EXCAVATION DEPTH	MET	METAL
BWK2		SCY	SCYON CLADDING
BWK(H&M)			
OG	OPERABLE GLAZING		
FG	FIXED GLAZING		
FTG	FIXED TRANSLUCENT GLAZING		
OTG	OPERABLE TRANSLUCENT GLAZING		
BWK1	BRICKWORK		
BWK2	VERTICAL BRICK WORK		
BWK(H&M)	HT & MISS BRICK WORK		

DRAWING TITLE

PROPOSED NORTH + EAST ELEVATIONS

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 3.1

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

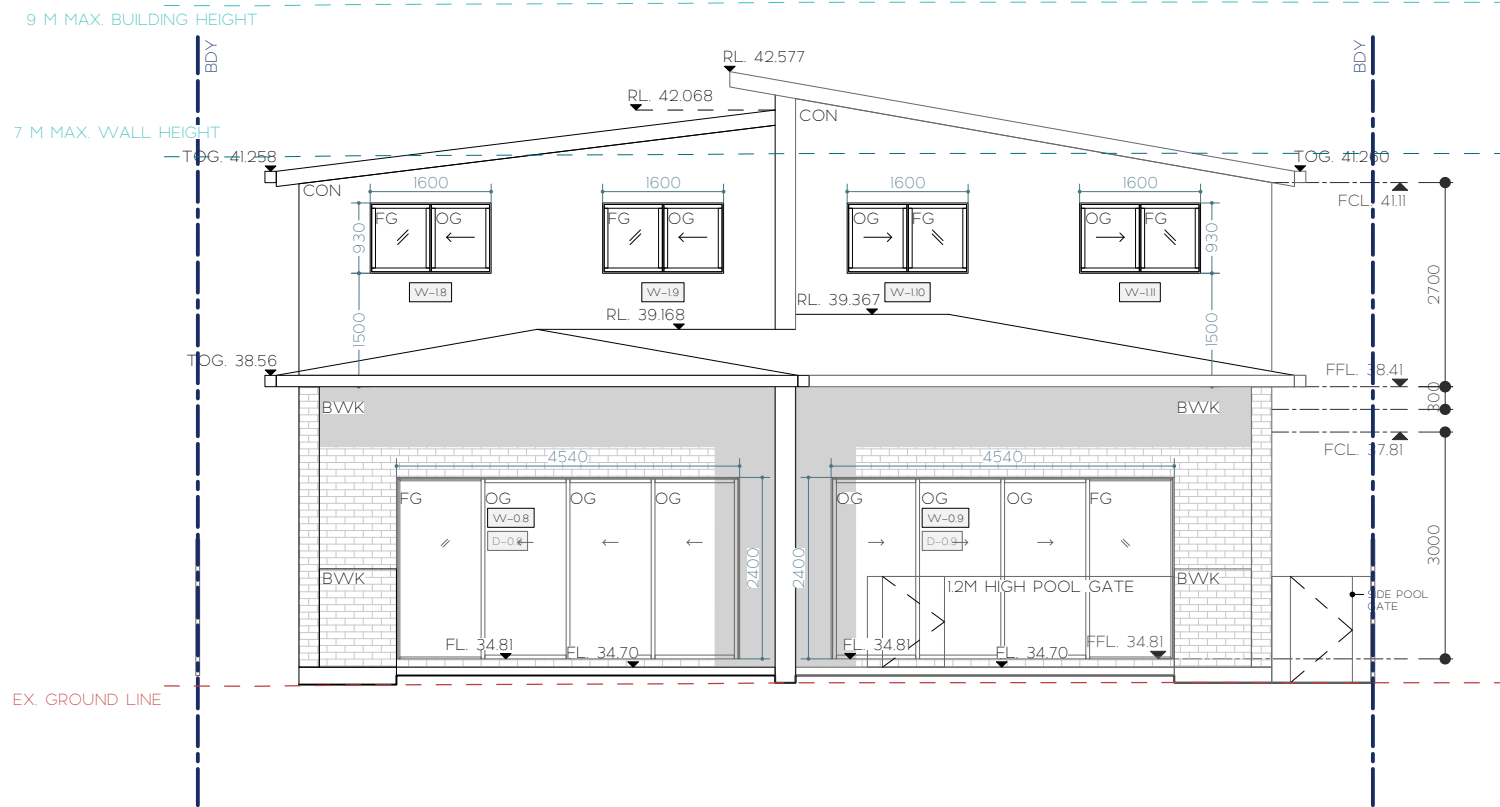
NL
CONSULTANTS

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND			
OG	LOT BOUNDARY	MSCR	METAL SCREENING
FG	EXISTING BUILDING	MBAL	METAL BALUSTRADE
FTG	NATURAL GROUND	TIM	TIMBER FENCING
OTG	X M MAX. BUILDING HEIGHT	SSM	STANDING SEAM CLADDING
BWK1	X M MAX. EXCAVATION DEPTH	MET	METAL
BWK2		SCY	SCYON CLADDING
BWK(H&M)			
	OPERABLE GLAZING		
	FIXED GLAZING		
	FIXED TRANSLUCENT GLAZING		
	OPERABLE TRANSLUCENT GLAZING		
	BRICKWORK		
	VERTICAL BRICK WORK		
	HIT & MISS BRICK WORK		

DRAWING TITLE

PROPOSED SOUTH + WEST ELEVATIONS

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 3.2

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

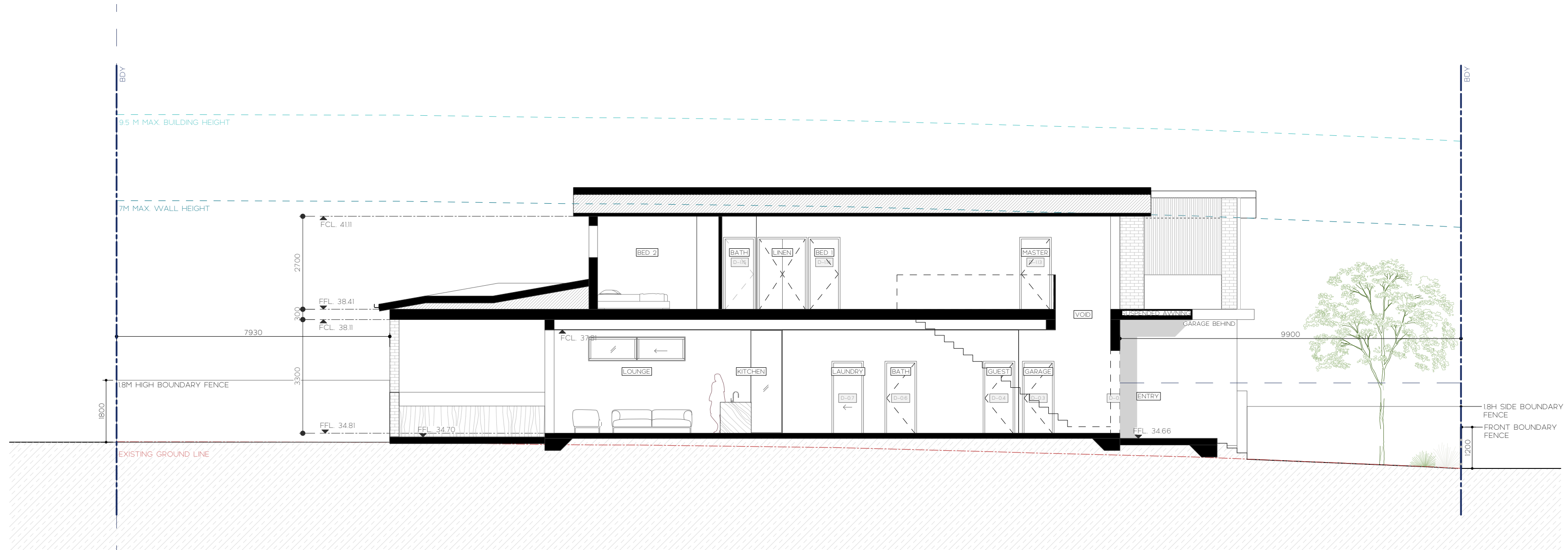
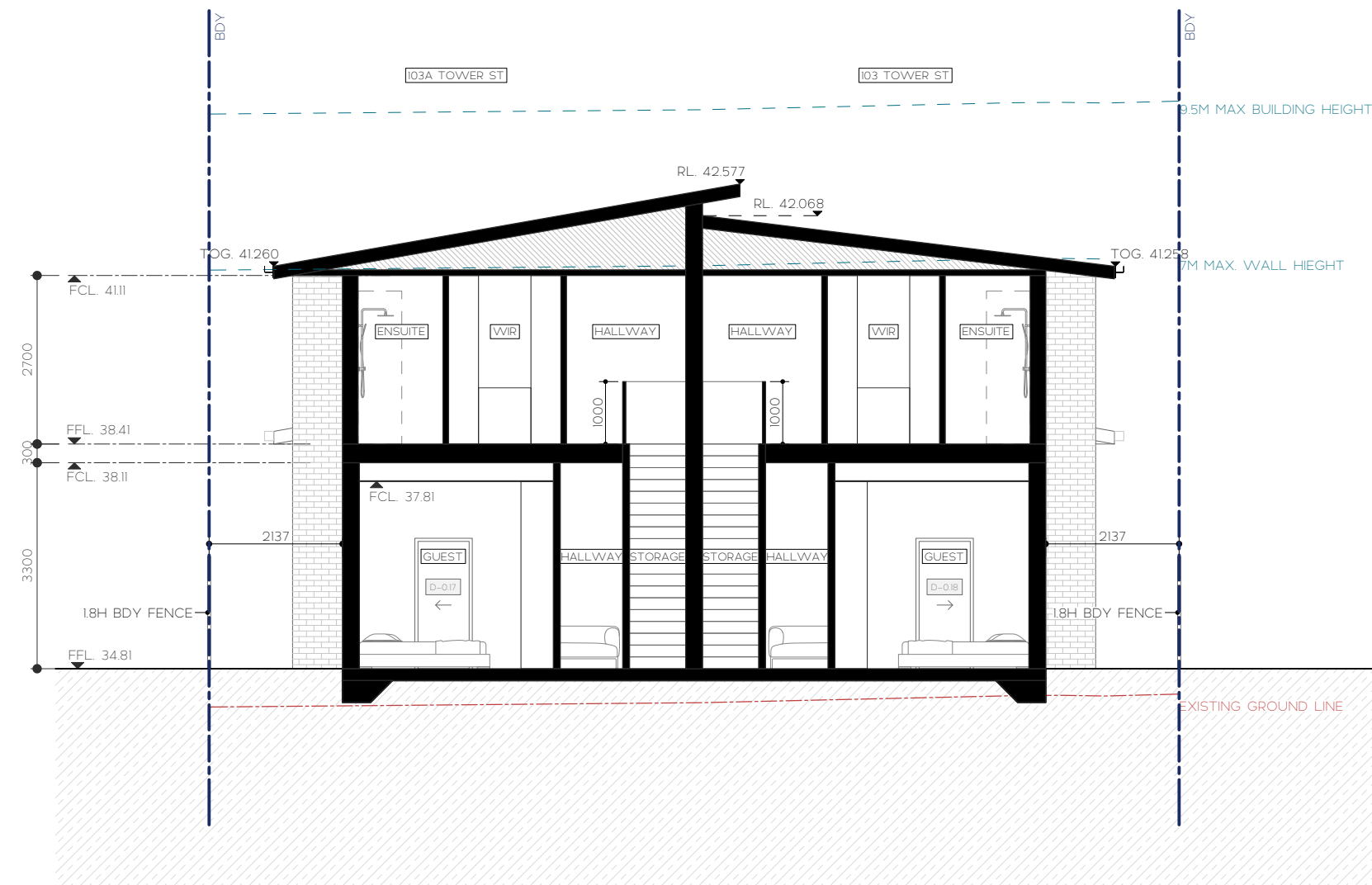
NL
CONSULTANTS

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

- LOT BOUNDARY
- EXISTING BUILDING
- NATURAL GROUND
- X M MAX. BUILDING HEIGHT
- X M MAX. EXCAVATION DEPTH

DRAWING TITLE

Section AA + BB

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 4.1

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

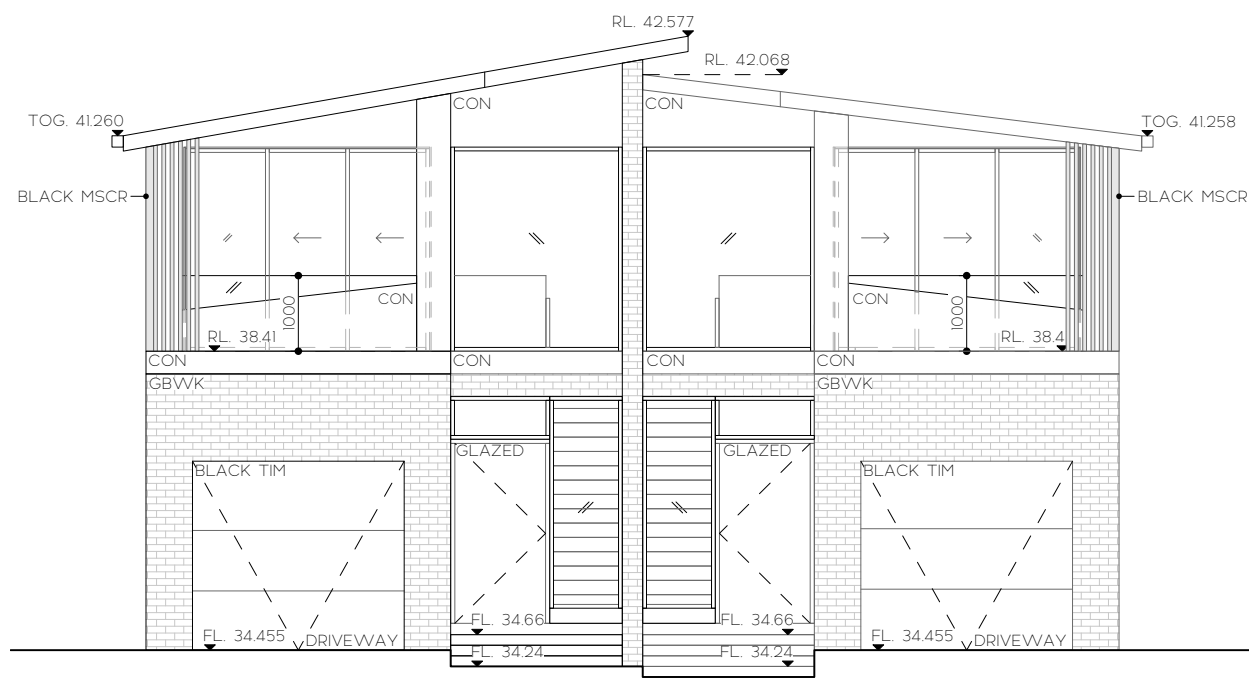
PROJECT NO. SYD23/381

318 BUCKWALL AVENUE GREENACRE, NSW 2190

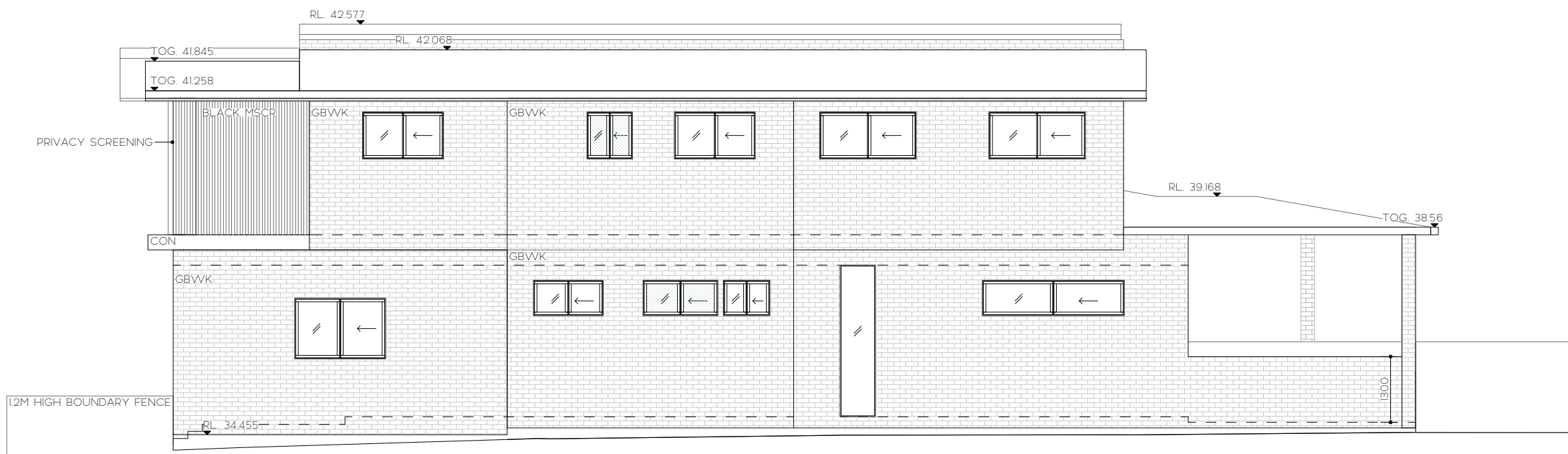
CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

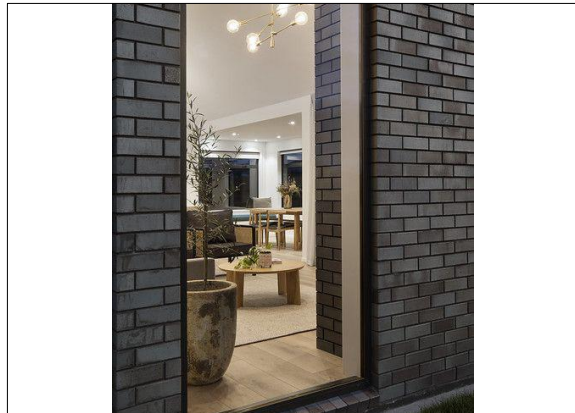
NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



NORTH ELEVATION
CONCEPTUAL VISUALISATION ONLY



WEST ELEVATION
CONCEPTUAL VISUALISATION ONLY



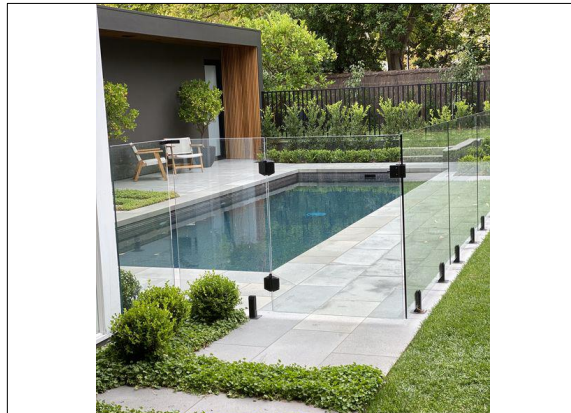
GREY BRICK WORK (GBWVK)



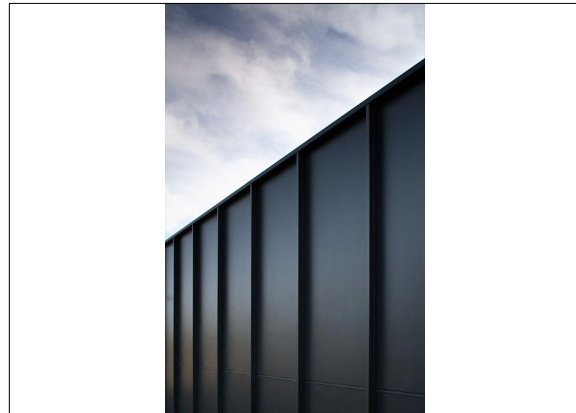
EXPOSED CONCRETE (CON)



ALUMINIUM BLACK SLATS (MSCR)
BLACK TIM GARAGE



POOL GLASS BALUSTRADE



NIGHTSKY METAL ROOF (MET)



FRONT BALCONY BALUSTRADE (CON/FG)

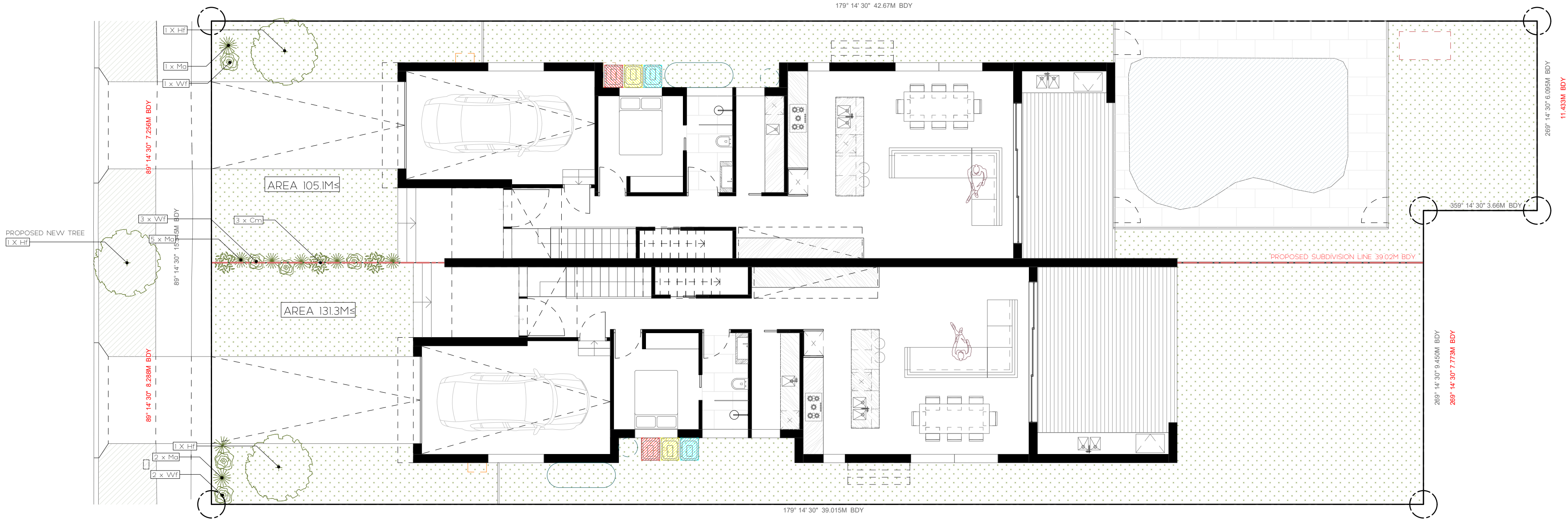
NOTES
1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND
OG
FG
GBWVK
BWK2
BWK(H&M)
MSCR
MBAL
TIM
SSM
MET
REN
CON
ALU LVRS
OPERABLE GLAZING
FIXED GLAZING
GREY BRICKWORK
VERTICAL BRICK WORK
HIT & MISS BRICK WORK
METAL SCREENING
METAL BALUSTRADE
TIMBER
STANDING SEAM METAL CLADDING
METAL
RENDER
CONCRETE
ALUMINIUM LOUVRES

DRAWING TITLE
**EXTERNAL FINISHES SCHEDULE +
MATERIAL SAMPLE BOARD**
PROJECT
103 TOWER STREET PANANIA, NSW 2213

SCALE
1:100 @ A2
1:50 @ A1
0.0 1.0 2.0 3.0 4.0 5.0 6.0 M
DRAWING NO.
DA 6.1
ISSUE
A
DATE
03 Apr 2023
DRAWN BY
JH
REVIEWED BY
NF
PROJECT NO.
SYD23/381

NLC
CONSULTANTS
318 BUCKWALL AVENUE GREENACRE, NSW
2190
CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM
SIGNED:
NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640



PLANT SCHEDULE

ACCORDING TO RELEVANT DCP CONTROLS

CODE	BOTANIC NAME	COMMON NAME	NATIVE	MATURE SIZE (h x w) (m)	POT SIZE	QUANTITY
TREES						
Hf	Hymenosporum Flavum	Native Frangipani	Yes	7.0 x 5.0	75 litres	2
SHRUBS & ACCENTS						
Ma	Melaleuca armillaris	Ball Honeymyrtle	Yes	1.0 x 2.0	300mm	8
Cm	Clivia Miniata	Belgian Clivia	NO	0.6 x 0.6	200mm	3
Wf	Westringia fruticosa	Coastal Rosemary	Yes	1.0 x 2.0	300mm	6
GROUND COVER						
Ss	Stenotaphrum secundatum	Matilda Soft Leaf Buffalo	YES			236.4 SQM

PLANTING LEGEND



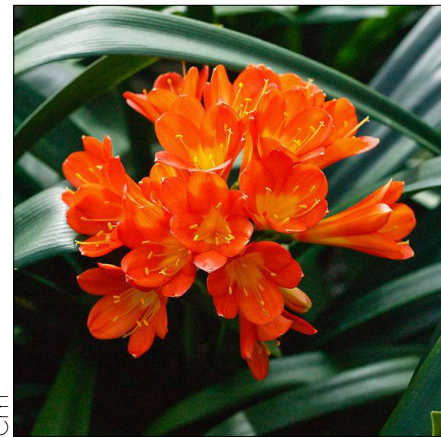
PLANTING PALETTE



Hf
Hymenosporum Flavum
NATIVE FRANGIPANI



Ma
Melaleuca armillaris
BALL HONEYMYRTLE



Cm
Clivia Miniata
Belgian Clivia

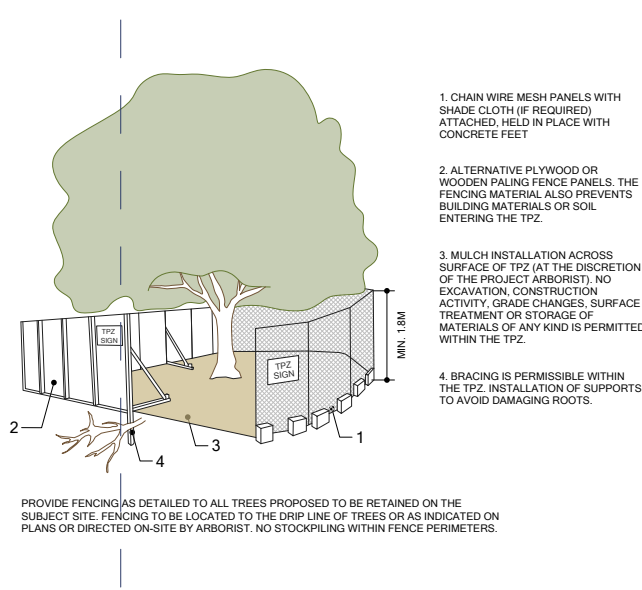


Wf
Westringia fruticosa
Coastal Rosemary

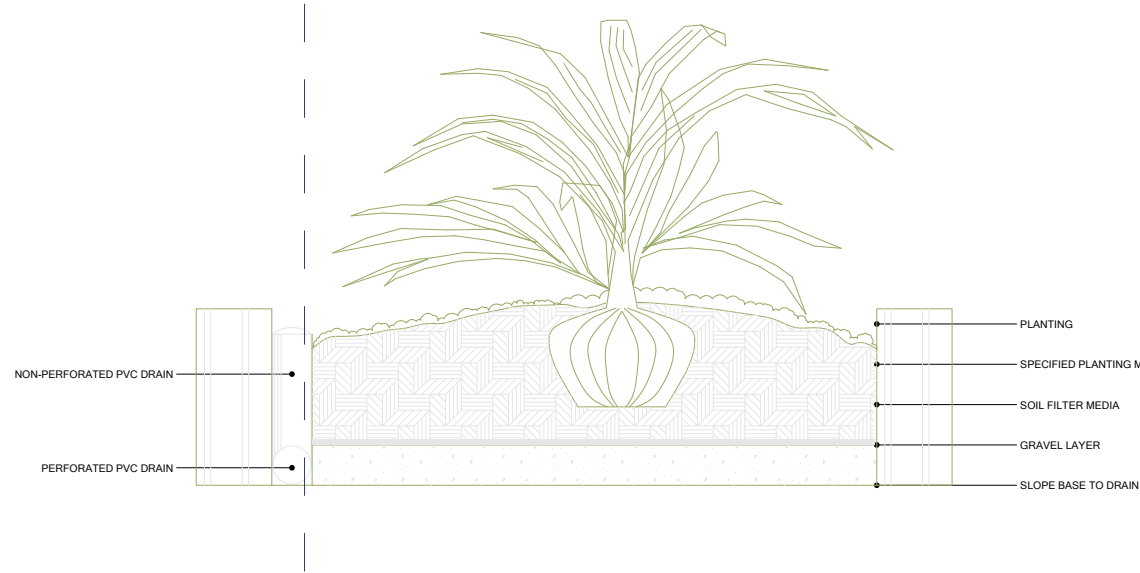


Ss
Stenotaphrum secundatum –
MATILDA BUFFALO

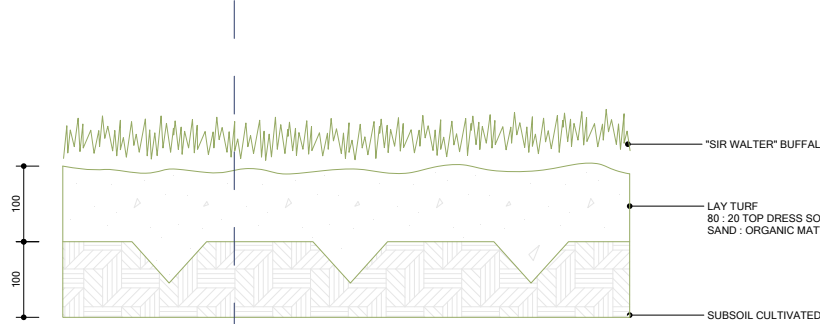
TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



TURF PLANTING DETAIL



- NOTES
- Do not scale off this drawing. Use dimensions and architectural drawings only.
 - Drawings to be read in conjunction with specification.
 - Levels are indicative only and are to be checked.
 - Authorities mains and or existing services are to be located and checked prior to commencement of any works.
 - The information on this drawing is to be used for hydraulic and or fire protection services only.
 - The information on this drawing remains the property Nohad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
 - Completion of the quality record is evidence that the design and the drawing have been verified.

- LEGEND
- LOT BOUNDARY
 - PROPOSED SUBDIVISION
 - EXISTING BUILDING
 - LANDSCAPE / DEEP SOIL

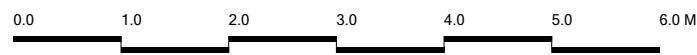
DRAWING TITLE

LANDSCAPE PLAN

PROJECT
103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1



DRAWING NO.
DA 7.1

ISSUE
A

DATE
03 Apr 2023

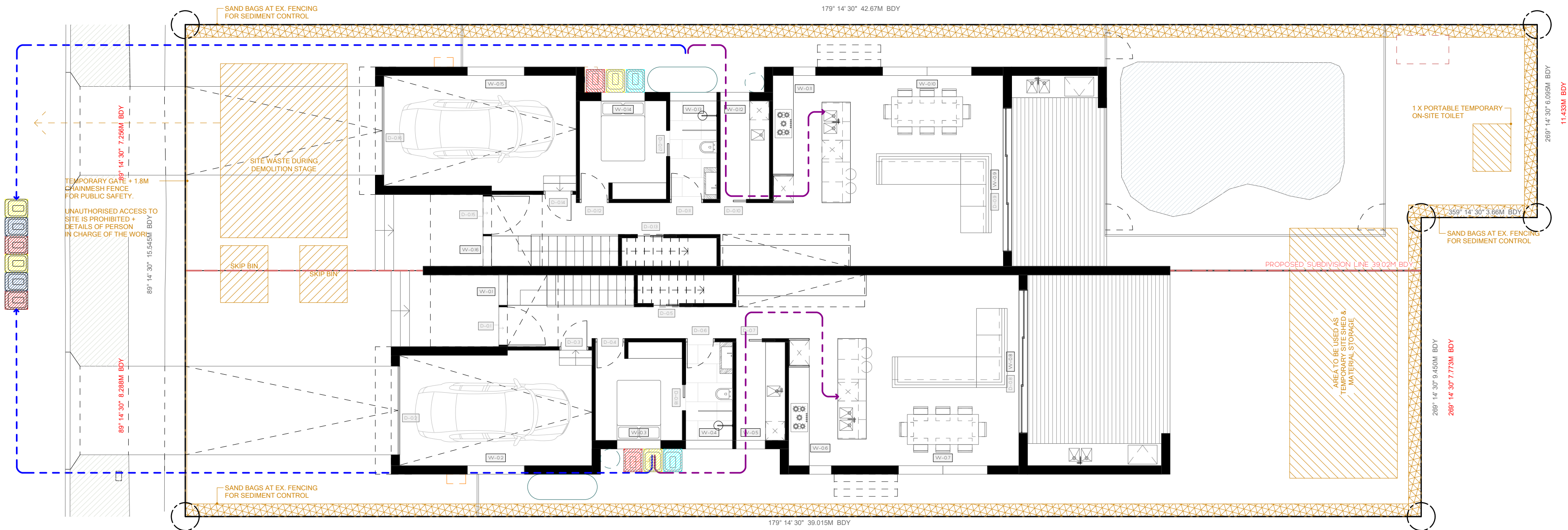
DRAWN BY
JH

REVIEWED BY
NF

PROJECT NO.
SYD23/381

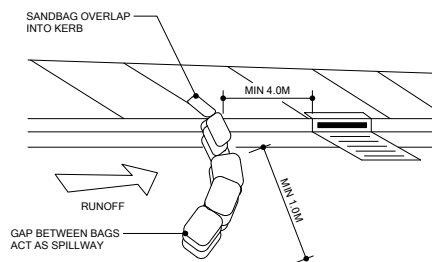


318 BUCKWALL AVENUE GREENACRE, NSW 2190
CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM
SIGNED:
NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

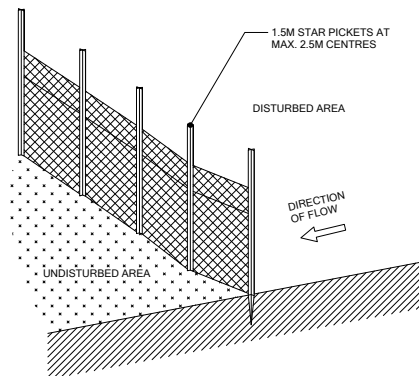


SEDIMENT CONTROL NOTES

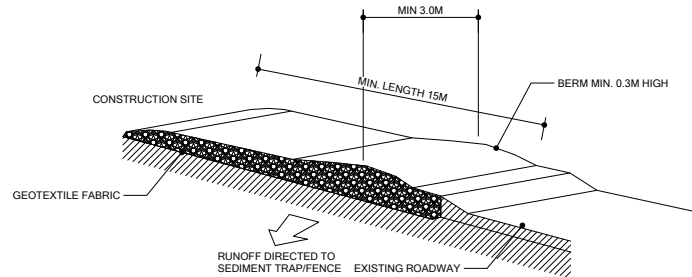
1. All erosion and sedimentation control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
2. All drainage works shall be constructed and stabilized as early as possible during development.
3. Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
4. All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
6. Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
7. Filter shall be constructed by stretching a filter fabric (propex) or approved equivalent between post at 3.0m centres, fabric shall be buried 150mm along its lower edge.



SANDBAG KERB INLET
SEDIMENT TRAP DETAIL (NTS)



SEDIMENT FENCE DETAIL (NTS)



TEMPORARY CONSTRUCTION EXIT DETAIL (NTS)

NOTES

1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nuhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND	
[Symbol]	LOT BOUNDARY
[Symbol]	GENERAL WASTE BIN
[Symbol]	RECYCLABLE WASTE BIN
[Symbol]	ORGANIC WASTE BIN
[Symbol]	BUILDING WASTE AREA DURING CONSTRUCTION PERIOD
[Symbol]	ROUTE TO BIN STORAGE AREA
[Symbol]	ROUTE TO WASTE COLLECTION POINT

DRAWING TITLE
WASTE MANAGEMENT PLAN

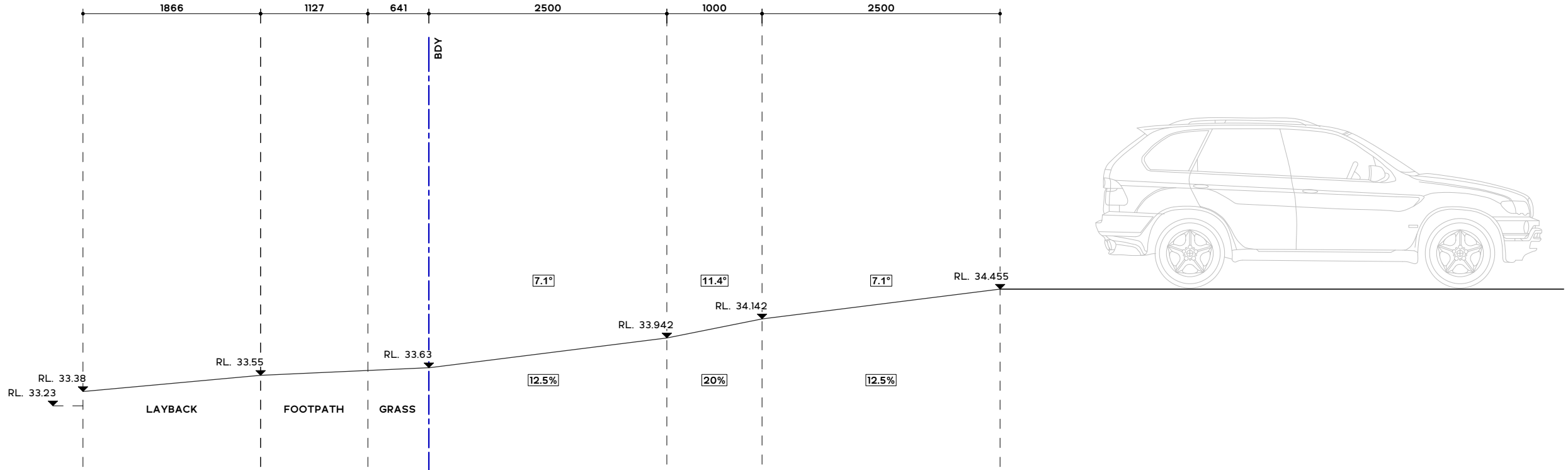
PROJECT
103 TOWER STREET PANANIA, NSW 2213

SCALE		0.0 1.0 2.0 3.0 4.0 5.0 6.0 M					
1:100 @ A2							
1:50 @ A1							
DRAWING NO. DA 8.1	ISSUE A	DATE 03 Apr 2023	DRAWN BY JH	REVIEWED BY NF	PROJECT NO. SYD23/381		

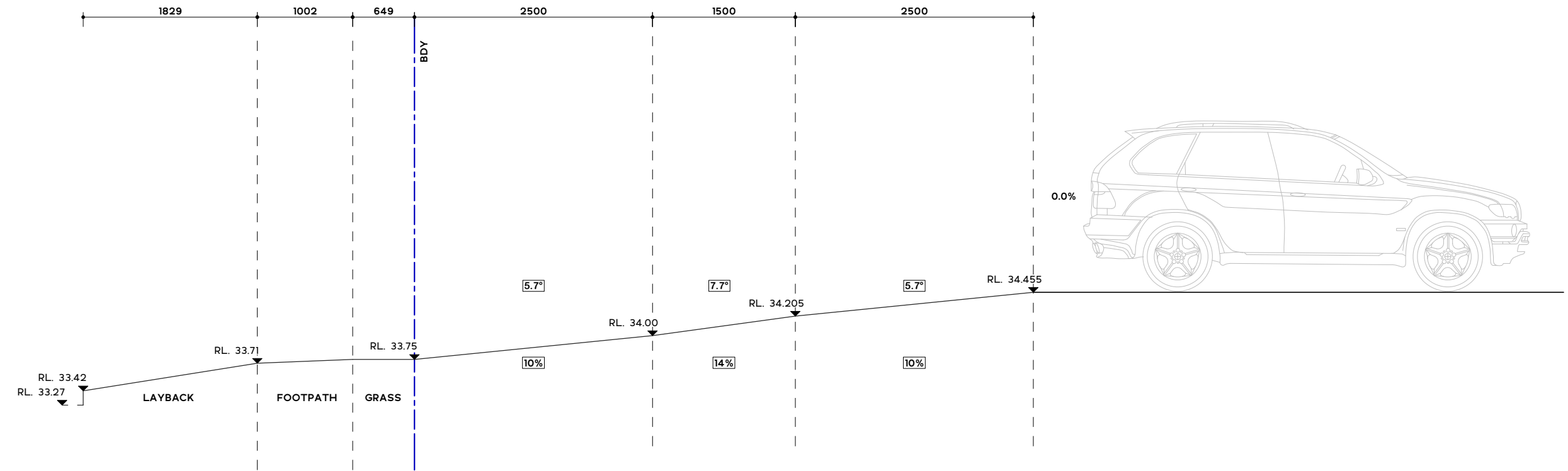


31B BUCKWALL AVENUE GREENACRE, NSW 2190
CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM
SIGNED:
NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

WINDOW SCHEDULE								
MARK	WINDOW STYLE	LEVEL	WIDTH	HEIGHT	GLAZING	SILL HEIGHT	HEAD HEIGHT	
VV- 0.1	FIXED	GROUND FLOOR	960	2800	CLEAR	200	3000	POWDER COAT ALUMINIUM
VV- 0.2	SLIDING	GROUND FLOOR	1800	1200	CLEAR	1500	2700	POWDER COAT ALUMINIUM
VV- 0.3	SLIDING	GROUND FLOOR	1480	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.4	SLIDING	GROUND FLOOR	1480	700	FROSTED	2000	2700	POWDER COAT ALUMINIUM
VV- 0.5	SLIDING	GROUND FLOOR	920	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.6	FIXED	GROUND FLOOR	700	3000	CLEAR	0	3000	POWDER COAT ALUMINIUM
VV- 0.7	SLIDING	GROUND FLOOR	2810	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.8	SLIDING	GROUND FLOOR	4540	2400	CLEAR	0	2400	POWDER COAT ALUMINIUM
VV- 0.9	SLIDING	GROUND FLOOR	4540	2400	CLEAR	0	2400	POWDER COAT ALUMINIUM
VV- 0.10	SLIDING	GROUND FLOOR	2810	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.11	FIXED	GROUND FLOOR	700	3000	CLEAR	0	3000	POWDER COAT ALUMINIUM
VV- 0.12	SLIDING	GROUND FLOOR	920	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.13	SLIDING	GROUND FLOOR	1480	700	FROSTED	2000	2700	POWDER COAT ALUMINIUM
VV- 0.14	SLIDING	GROUND FLOOR	1380	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
VV- 0.15	SLIDING	GROUND FLOOR	1800	1200	CLEAR	1500	2700	POWDER COAT ALUMINIUM
VV- 0.16	SLIDING	GROUND FLOOR	960	2800	CLEAR	200	3000	POWDER COAT ALUMINIUM
VV- 0.17	FIXED	GROUND FLOOR	1310	565	CLEAR	2435	3000	POWDER COAT ALUMINIUM
VV- 0.18	FIXED	GROUND FLOOR	1310	565	CLEAR	2435	3000	POWDER COAT ALUMINIUM
VV- 1.1	FIXED	FIRST FLOOR	2270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
VV- 1.2	SLIDING	FIRST FLOOR	3270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
VV- 1.3	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.4	SLIDING	FIRST FLOOR	900	930	FROSTED	1500	2430	POWDER COAT ALUMINIUM
VV- 1.5	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.6	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.7	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.8	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.9	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.10	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.11	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.12	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.13	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.14	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.15	SLIDING	FIRST FLOOR	900	930	FROSTED	1500	2430	POWDER COAT ALUMINIUM
VV- 1.16	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
VV- 1.17	SLIDING	FIRST FLOOR	3270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
VV- 1.18	FIXED	FIRST FLOOR	2270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
VV- 2.1	FIXED	ROOF	1000	1000	CLEAR	N/A	N/A	POWDER COAT ALUMINIUM
VV- 2.2	FIXED	ROOF	1000	1000	CLEAR	N/A	N/A	POWDER COAT ALUMINIUM



DRIVEWAY PROFILE 1 - 103A TOWER ST.



DRIVEWAY PROFILE 2 - 103 TOWER ST.

DOOR SCHEDULE					
MARK	LEVEL	WIDTH	HEIGHT	FINISH	ROOM NAME
D- 0.1	GROUND FLOOR	1210	2400	ALUMINIUM + GLASS	ENTRY
D- 0.2	GROUND FLOOR	2800	2400	COLOURBOND	GARAGE
D- 0.3	GROUND FLOOR	820	2040	TIMBER	GARAGE
D- 0.4	GROUND FLOOR	820	2040	TIMBER	GUEST
D- 0.5	GROUND FLOOR	820	2040	TIMBER	STORAGE
D- 0.6	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.7	GROUND FLOOR	820	2040	TIMBER	LAUNDRY
D- 0.8	GROUND FLOOR	3400	2400	ALUMINIUM + GLASS	LIVING
D- 0.9	GROUND FLOOR	3400	2400	ALUMINIUM + GLASS	LIVING
D- 0.10	GROUND FLOOR	820	2040	TIMBER	LAUNDRY
D- 0.11	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.12	GROUND FLOOR	820	2040	TIMBER	STORAGE
D- 0.13	GROUND FLOOR	820	2040	TIMBER	GUEST
D- 0.14	GROUND FLOOR	820	2040	TIMBER	GARAGE
D- 0.15	GROUND FLOOR	1210	2400	ALUMINIUM + GLASS	ENTRY
D- 0.16	GROUND FLOOR	2800	2400	COLOURBOND	GARAGE
D- 0.17	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.18	GROUND FLOOR	820	2040	TIMBER	BATH
D- 1.1	FIRST FLOOR	2170	2700	ALUMINIUM + GLASS	MASTER BALCONY
D- 1.2	FIRST FLOOR	820	2040	TIMBER	ENSUITE
D- 1.3	FIRST FLOOR	820	2040	TIMBER	MASTER
D- 1.4	FIRST FLOOR	820	2040	TIMBER	BED 1
D- 1.5	FIRST FLOOR	820	2040	TIMBER	BATH
D- 1.6	FIRST FLOOR	820	2040	TIMBER	BED 2
D- 1.7	FIRST FLOOR	820	2040	TIMBER	BED 3
D- 1.8	FIRST FLOOR	820	2040	TIMBER	BED 2
D- 1.9	FIRST FLOOR	820	2040	TIMBER	BED 3
D- 1.10	FIRST FLOOR	820	2040	TIMBER	BATH
D- 1.11	FIRST FLOOR	820	2040	TIMBER	BED 1
D- 1.12	FIRST FLOOR	820	2040	TIMBER	MASTER
D- 1.13	FIRST FLOOR	820	2040	TIMBER	ENSUITE
D- 1.14	FIRST FLOOR	2170	2700	ALUMINIUM + GLASS	MASTER BALCONY

- NOTES
- Do not scale off this drawing. Use dimensions and architectural drawings only.
 - Drawings to be read in conjunction with specification.
 - Levels are indicative only and are to be checked.
 - Authorities mains and or existing services are to be located and checked prior to commencement of any works.
 - The information on this drawing is to be used for hydraulic and or fire protection services only.
 - The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
 - Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

DRAWING TITLE

WINDOW + DOOR SCHEDULE

DIVEWAY PROFILES

PROJECT

103 TOWER STREET PANANIA, NSW 2213

SCALE

1:100 @ A2
1:50 @ A1

0.0 1.0 2.0 3.0 4.0 5.0 6.0 M

DRAWING NO. DA 9.1

ISSUE A

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

NL CONSULTANTS

318 BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED:

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640