CITY OF CANTERBURY BANKSTOWN COUNCIL DEVELOPMENT APPLICATION SUBMISSION

PROPOSED ATTACHED DEVELOPMENT TO : NO. 103 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642]

LOCALITY MAP



NO.	DRAWING TITLE	NO.	DRAWING TITLE
0.1			
0.1	COVER PAGE	6.1	EXTERNAL FINISHES SCHEDULE + MATERIAL SAMPLE BOARD
1.1	SITE ANALYSIS PLAN	7.1	PROPOSED LANDSCAPE PLAN
1.2	DEMOLITION PLAN		
1.3	SUBDIVISION PLAN	8.1	WASTE MANAGEMENT PLAN + SEDIMENT CONTROL
1.4	AREA CALCULATIONS + COMPLIANCE TABLE		
		9.1	WINDOW + DOOR SCHEDULE
2.1	PROPOSED GROUND FLOOR PLAN		
2.2	PROPOSED FIRST FLOOR PLAN		
2.3	PROPOSED ROOF PLAN		
3.1	PROPOSED NORTH + EAST ELEVATION		
3.2	PROPOSED SOUTH + WEST ELEVATION		
4.1	PROPOSED SECTION AA + SECTION BB		
5.1	PROPOSED SHADOW DIAGRAM 22 JUNE 09AM		
5.2	PROPOSED SHADOW DIAGRAM 22 JUNE 12PM		
5.3	PROPOSED SHADOW DIAGRAM 22 JUNE 03PM		
5.4	PROPOSED SHADOVV DIAGRAM 22 MARCH 09AM		
5.5	PROPOSED SHADOW DIAGRAM 22 MARCH 12PM		
5.6	PROPOSED SHADOVV DIAGRAM 22 MARCH 03PM		

LEGEND

3. Levels are indicative only and are to be checked.

4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.

5. The information on this drawing is to be used for hydraulic and or fire protection services only. 6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.

7. Completion of the quality record is evidence that the design and the drawing have been verified.

COMPLIANCE TABLE

103 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642] ZONE: R2 - LOW DENSITY RESIDENTIAL LOT A AREA: 315.52 M≤

LOT & AREA: 313.36 M≤			
	CONTROL	PROPOSED 103 TOWER	PROPOSED 103A TOWER
LOT AREA	250M2	313.36 M2	315.52 M2
STOREY LIMIT	2	2	2
SITE FRONTAGE	15M	15.55M	15.55M
HEIGHT OF BUILDINGS	9M	COMPLIES - REFER ELEVATIONS	COMPLIES - REFER ELEVATIONS
FLOOR SPACE RATIO	0.5 : 1	0.5 : 1	0.5 : 1
GROSS FLOOR AREA		168.39 SQM	168.39 SQM
FRONT GROUND FLOOR PRIMARY SETBACK	5.5	6.3M	6.0M
FRONT FIRST FLOOR PRIMARY SETBACK	6.5	9.3M	8.6M
LANDSCAPING – FRONT SETBACK	MIN. 45%	59% (30.9 SQM)	49% (21.2 SQM)
PRIVATE OPEN SPACE	MIN. 80 SQM	COMPLIES	COMPLIES
CARPARKING	MIN 2 PER LOT	2	2

OTES

ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY THE BUILDER AND A EGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY SCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.

LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A EGISTERED SURVEYOR.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE OMMENCEMENT OF ANY CONSTRUCTION WORK.

WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE REFERENCE TO THIS DRAWING.

STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS ND TO AS3500.

ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT UTHORITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

ALL DEMOLITION AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE ANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS AND PPROVAL CONDITONS.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRMENTS OF THE RINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE F AUSTRALIA (BCA).

SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF ONSTRUCTION ACTIVITIES.



31B BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM SIGNED:

CONSULTANTS NOUHAD FARAH B.E, MIE AUST, NER, CPENG MEMBERSHIP NUMBER: 3312640

DRAWING NO. DA 0.1

ISSUE DATE 03 Apr 2023 А

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

Project summary		
Project name	103 Tower Street,	Panania - Lot103a
Street address	103 Tower Street P	anania 2213
Local Government Area	Canterbury-Bankste	own Council
Plan type and plan number	deposited 27642	
Lot no.	5	
Section no.	-	
Project type	attached dwelling h	ouse
No. of bedrooms	5	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	V Pass	Target Pass
Energy	53	Target 50

Certificate Prepared by

Name / Company Name: NLCONSULTANTS PTY LTD

ABN (if applicable): 57600679454

Assessor details and thermal I	loads
Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m ² .year)	n/a
Area adjusted heating load (MJ/m ² .year)	n/a
Ceiling fan in at least one bedroom	n/a
Ceiling fan in at least one living room or other conditioned area	n/a
Project score	
Water	✓ 41 Target 40
Thermal Comfort	V Pass Target Pass
Energy	✓ 53 Target 50

Project address	
Project name	103 Tower Street, Panania - Lot103a
Street address	103 Tower Street Panania 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 27642
Lot no.	5
Section no.	
Project type	
Project type	attached dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	313
Roof area (m ²)	175
Conditioned floor area (m2)	200.0
Unconditioned floor area (m2)	40.0
Total area of garden and lawn (m2)	93

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Cert
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		~	
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	
The applicant must connect the rainwater tank to:	-		
all toilets in the development			
a libert are addeed to in the data barrent Alate MCM Haalth data and assessed that advectes have ad for burner		× .	
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		 Image: A set of the set of the	
Swimming pool			
The swimming pool must not have a volume greater than 30 kilolitres.	~	~	
The swimming pool must be outdoors.	~	~	
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Cert
General features			
The dwelling must not have more than 2 storeys.	~	V	
The conditioned floor area of the dwelling must not exceed 300 square metres.	~	~	
The dwelling must not contain open mezzanine area exceeding 25 square metres.	~	~	
The dwelling must not contain third level habitable attic room.	~		
Floor, walls and ceiling/roof			-

Floor, walls and ceiling/roof The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. ~ ~

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 120 square metres	nil	
floor - above habitable rooms or mezzanine, 120 square metres, concrete	nii	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - brick veneer	1.86 (or 2.40 including construction)	
internal wall shared with garage - cavity brick wall	nil	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	~	~	~
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	~	~	~
The following requirements must also be satisfied in relation to each window and glazed door:	~	~	~
For the following glass and frame types, the certifier check can be performed by visual inspection.			~
- Aluminium single clear			
- Aluminium double (air) clear			
- Timber/uPVC/fibreglass single clear			
- Timber/uPVC/fibreglass double (air) clear			
 Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. 	~	~	~
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	~	~	~

Skylight no.	Maximum are metres)	a (square	Туре	9		Shading device	
S01	1.00		alum	inium, moulded plastic single clea	r	no shading	
						Anne of the second	
Window/glazed door no.	Maximum height (mm)	Maximum v (mm)	vidth	Туре	Shading Devic 10%)	e (Dimension within	Overshadowing
North facing							
W-1.18	2700	2270		aluminium, single, clear		2695 mm, 500 mm window or glazed	not overshadowed
Window/glazed door no.	Maximum height (mm)	Maximum v (mm)	width	Туре	Shading Devic 10%)	e (Dimension within	Overshadowing
W0.16	2800	960		aluminium, single, clear		1500 mm, 300 mm window or glazed	not overshadowed
W-1.17	2700	3270		aluminium, single, clear		2600 mm, 300 mm window or glazed	not overshadowed
W0.17	565	1310		aluminium, single, clear		1500 mm, 200 mm window or glazed	not overshadowed

NOTES
1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

LEGEND

East facing					
W-1.15	930	900	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.11	3000	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.15	1200	1800	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.10	2810	700	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.12	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.12	700	920	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.16	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.13	700	1480	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.14	930	1600	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
W-0.14	700	1380	aluminium, single, clear	eave 450 mm, 3250 mm above head of window or glazed door	>4 m high, 2-5 m away
W-1.13	930	1910	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away
South facing					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
W-0.9	2400	4540	aluminium, single, clear	solid overhang 3450 mm, 1200 mm above head of window or glazed door	not overshadowed
W-1.11	930	1600	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed
W-1.10	930	1600	aluminium, single, clear	eave 450 mm, 650 mm above head of window or glazed door	not overshadowed
			1		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			1
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 7.5 star (average zone)		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating; 7.5 star (average zone)		<u> </u>	~
The cooling system must provide for day/night zoning between living areas and bedrooms.		Č.	
Heating system		×	•
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase	1		
airconditioning; Energy rating: 7.5 star (average zone) The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase		~	~
airconditioning; Energy rating: 7 star (average zone)		~	~
The heating system must provide for day/night zoning between living areas and bedrooms.		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Artificial lighting			1
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the			
following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
 at least 5 of the bedrooms / study; dedicated 		~	~
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
the at least 1 of the living / dining rooms; dedicated		~	~
the kitchen; dedicated		-	~
all bathrooms/toilets; dedicated			
the laundry; dedicated		•	•
all hallways; dedicated		~	~
- ali naliways, usuicatsu	0	~	~
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	~
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Swimming pool	1		
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (gas boosted)		J	
The applicant must install a timer for the swimming pool pump in the development.			
Alternative average		~	2
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the	1	1	1
development. The applicant must connect this system to the development's electrical system.	~	~	~
Other	1		1
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.			
Legend			
In these commitments, "applicant" means the person carrying out the development. Commitments identified with a v in the "Show on DA plans" column must be shown on the plans accompanying the development applic	ation for the p	roposed development (ifa
development application is to be lodged for the proposed development).			A 11
Commitments identified with a vi in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications acc certificate / complying development certificate for the proposed development.	ompanying the	application for a const	ruction
Commitments identified with a v in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before	e a final occup	ation certificate(either in	nterim or
final) for the development may be issued.			

31B BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM SIGNED:

CONSULTANTS NOUHAD FARAH B.E, MIE AUST, NER, CPENG MEMBERSHIP NUMBER: 3312640

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SCALE

ISSUE DATE 03 Apr 2023

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DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381

Project summary				Thermal Comfort Co	mmitments				Show on DA plans	Show on CC/CDC plans & specs
Project name	103 Tower Street, Pa	inania - Lot103	3	General features						
Street address	103 Tower Street Par	nania 2213		The dwelling must not have	e more than 2 storey	/S.			1.12	
Local Government Area	Canterbury-Bankstow	vn Council		The conditioned floor area	of the dwelling mus	t not exceed 300 so	uare metres.		· ·	
Plan type and plan number	deposited 27642				111110-01675-011				~	~
Lot no.	5			The dwelling must not contain open mezzanine area exceeding 25 square metres.						~
Section no.	-			The dwelling must not conta	ain third level habita	able attic room.			~	~
Project type	attached dwelling hou	ISP		Floor, walls and ceili	ng/roof				-	1 .
No. of bedrooms	5	100		The applicant must constru		, and ceiling/roof of	the dwelling in accordance with the sp	ecifications listed in the table		
	5			below.					~	×
Project score				Construction		A	ditional insulation required (R-Valu	e) Other s	pecifications	
Water	🖌 44	Target	40	floor - concrete slab on grou	un <mark>d, 1</mark> 20 square me	1000				
Thermal Comfort			-	floor - above habitable room metres, concrete	ns or mezzanine, 12	20 square nil				
Thermal Comfort	V Pass	Target	Pass	external wall - cavity brick		0.8	50 (or 1.17 including construction)	3		
Energy	55	Target	50	external wall - brick veneer	0	1.	86 (or 2.40 including construction)			
	• • • •	Targot		internal wall shared with ga						
Cartificate Pressand hu				ceiling and roof - flat ceiling	/ flat roof, framed	ce	iling: 3.5 (up), roof: foil/sarking	framed;	medium (solar	absorptance 0.475-0.7
Certificate Prepared by				Note Insulation specifie	ed in this Certificate	must be installed in	accordance with Part 3.12.1.1 of the	Building Code of Australia.		
Name / Company Name: NLCONSULTANTS	S PTY LTD			Note • In some climate z	cones, insulation sh	ould be installed wi	th due consideration of condensation a	nd associated interaction with a	adjoining buildir	ing materials.
ABN (if applicable): 57600679454										
				Thermal Comfort Co	mmitments				Show on DA plans	Show on CC/CDC plans & specs
Project address				Windows, glazed doo	ors and skyligh	its				
Project name	103 Tower Street, Pa	anania - Lot10	03	The applicant must install the	he windows, glazed	doors and shading	devices described in the table below,	in accordance with the	~	
Street address	103 Tower Street Pa	or at set of the set	-75	The dwelling may have 1 st			ations must be satisfied for each windo ot listed in the table.	w and glazed door.	-	
Local Government Area	Canterbury-Bankstov								~	~
Plan type and plan number	Deposited Plan 2764			L MARK THE ANALY IN ADDRESS OF A DAMAGE AND			ch window and glazed door:		~	~
		12		 For the following glass a 	and frame types, the	e certifier check car	be performed by visual inspection.			
Lot no.	5			- Aluminium single cle	ear					
Section no.				- Aluminium double (a	,					
Project type				- Timber/uPVC/fibreg - Timber/uPVC/fibreg		ar				
Project type	attached dwelling ho	ouse		 Overshadowing building 	s/vegetation must	be of the height and	distance from the centre and the base	e of the window and glazed	~	
No. of bedrooms	5			door, as specified in the applicant must install the applicant must install the specified in the specificant must be specified in the specifie	0		w, in accordance with the specification	s listed in the table. Total	-	
Site details					ed 3 square metres	s (the 3 square met	re limit does not include the optional ad		~	
Site area (m ²)	313									
Roof area (m ²)	175			Skylight no.	Maximum are metres)	a (square Ty	/pe	Shading	g device	
Conditioned floor area (m2)	200.0			S01	1.00	al	uminium, moulded plastic single clear	no shad	ing	
	200.0			100 Contraction of the second s						
I have a different flager area (m2)	10.0									
Unconditioned floor area (m2)	40.0			Window/glazed door no.	Maximum	Maximum widt	h Type	Shading Device (Dimen	sion within	Overshadowing
Unconditioned floor area (m2) Total area of garden and lawn (m2)	40.0 136				Maximum height (mm)	Maximum widi (mm)	h Type	Shading Device (Dimen 10%)	ision within	Overshadowing
and the second sec	136			North facing	height (mm)	(mm)		10%)		
Total area of garden and lawn (m2)	136 oads						h Type aluminium, single, clear	Shading Device (Dimen 10%) solid overhang 1500 mm above head of window or door	i, 0 mm	Overshadowing not overshadowed
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number	136 oads n/a			North facing	height (mm)	(mm)		10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a	i, 0 mm r glazed	
Total area of garden and lawn (m2) Assessor details and thermal la Assessor number Certificate number	136 oads n/a n/a			North facing W-0.1	height (mm)	(mm) 1060	aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door	i, 0 mm r glazed	not overshadowed
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone	136 oads n/a n/a n/a			North facing W-0.1	height (mm) 2200 2700 Maximum	(mm) 1060 2270 Maximum widt	aluminium, single, clear aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen	i, 0 mm r glazed above head r	not overshadowed
Total area of garden and lawn (m2) Assessor details and thermal law Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year)	136 oads n/a n/a n/a n/a			North facing W-0.1 W-1.1 Window/glazed door no.	height (mm) 2200 2700 Maximum height (mm)	(mm) 1060 2270 Maximum widt (mm)	aluminium, single, clear aluminium, single, clear h Type	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%)	a, 0 mm r glazed above head r	not overshadowed not overshadowed Overshadowing
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year)	136 oads n/a n/a n/a n/a n/a n/a			North facing W-0.1 W-1.1 Window/glazed door no. W-1.2	height (mm) 2200 2700 Maximum height (mm) 2700	(mm) 1060 2270 Maximum widt (mm) 3270	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door	above head r nsion within above head r	not overshadowed not overshadowed Overshadowing not overshadowed
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom	136 oads n/a n/a n/a n/a n/a n/a			North facing W-0.1 W-1.1 Window/glazed door no.	height (mm) 2200 2700 Maximum height (mm)	(mm) 1060 2270 Maximum widt (mm)	aluminium, single, clear aluminium, single, clear h Type	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or	a, 0 mm r glazed above head r nsion within above head r above head r	not overshadowed not overshadowed Overshadowing
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or	136 oads n/a n/a n/a n/a n/a n/a			North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17	height (mm) 2200 2700 Maximum height (mm) 2700	(mm) 1060 2270 Maximum widt (mm) 3270	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm	a, 0 mm r glazed above head r nsion within above head r above head r	not overshadowed not overshadowed Overshadowing not overshadowed
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Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or	136 oads n/a n/a n/a n/a n/a n/a			North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17	height (mm) 2200 2700 Maximum height (mm) 2700	(mm) 1060 2270 Maximum widt (mm) 3270	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or	a, 0 mm r glazed above head r above head r b, 200 mm r glazed a, 1200 mm	not overshadowed not overshadowed Overshadowing not overshadowed
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Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or other conditioned area Project score Water	136 oads n/a n/a n/a n/a n/a n/a n/a w/a 44		22.01	North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17 South facing W-0.8 W-1.8	height (mm) 2200 2700 Maximum height (mm) 2700 565 2400 930	(mm) 1060 2270 Maximum widt (mm) 3270 1310 4540 1600	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm, above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or door solid overhang 3450 mm above head of window or door eave 450 mm, 350 mm a of window or glazed door	a, 0 mm r glazed above head r above head r glazed a, 200 mm r glazed above head r	not overshadowed not overshadowed Overshadowing not overshadowed not overshadowed not overshadowed not overshadowed
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Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or other conditioned area Project score Water Thermal Comfort	136 oads n/a n/a n/a n/a n/a n/a n/a n/a	Target	t Pass	North facingW-0.1W-1.1Window/glazed door no.W-1.2W0.17South facingW-0.8W-1.8W-1.9West facing	height (mm) 2200 2700 Maximum height (mm) 2700 565 2400 930 930	(mm) 1060 2270 Maximum widt (mm) 3270 1310 4540 1600 1600	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimented 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or door solid overhang 3450 mm above head of window or door solid overhang 3450 mm above head of window or door eave 450 mm, 350 mm a of window or glazed door	above head r sion within above head r 200 mm r glazed above head r above head r above head r above head r	not overshadowed not overshadowed Overshadowing not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed
Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or other conditioned area Project score Water	136 oads n/a n/a n/a n/a n/a n/a n/a w/a 44		t Pass	North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17 South facing W-0.8 W-1.9	height (mm) 2200 2700 Maximum height (mm) 2700 565 2400 930	(mm) 1060 2270 Maximum widt (mm) 3270 1310 4540 1600	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or door solid overhang 3450 mm above head of window or door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 350 mm a of window or glazed door	a, 0 mm r glazed above head r above head r glazed above head r glazed above head r above head r above head r	not overshadowed not overshadowed Overshadowing not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed
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Total area of garden and lawn (m2) Assessor details and thermal le Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or other conditioned area Project score Water Thermal Comfort Energy Water Commitments Fixures The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/m all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 6 star in each to	136 oads n/a state y 44 y 55	Target Target Show on CC DA plans Show on CC plans & spec	t Pass t 50 V/CDC cs Certifier check	North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17 South facing W-0.8 W-1.8 W-1.9 West facing W-0.2 W-0.3	height (mm) 2200 2700 Maximum height (mm) 2700 565 2400 930 930 1200 1200 700	(mm) 1060 2270 Maximum widt (mm) 3270 1310 4540 1600 1600 1800 1480	aluminium, single, clear aluminium, single, clear h Type aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or door solid overhang 3450 mm above head of window or door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door	above head r glazed above head r above head r glazed above head r glazed above head r glazed above head r above head r above head r above head r above head r above head r above head	not overshadowed not overshadowed Overshadowing not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed >4 m high, 2-5 m away >4 m high, 2-5 m away
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Total area of garden and lawn (m2) Assessor details and thermal l Assessor number Certificate number Climate zone Area adjusted cooling load (MJ/m².year) Area adjusted heating load (MJ/m².year) Ceiling fan in at least one bedroom Ceiling fan in at least one living room or other conditioned area Project score Water Thermal Comfort Energy Water Commitments Fixures The applicant must install showerheads with a minimum rating of 6 star in each bathroom in th Alternative water Rainwater tank The applicant must install basin taps with a minimum rating of 6 star in each bathroom in th Alternative water Rainwater tank The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater	136 oads n/a in/a setup 44 setup Pass setup spray force and/or coverage tests) in plets spray force and/or coverage tests) in plet in the development. ment. ne development.	Target Target Show on DA plans Show on CC plans & spec	t Pass	North facing W-0.1 W-1.1 Window/glazed door no. W-1.2 W0.17 South facing W-0.8 W-1.8 W-1.9 West facing W-0.2 W-0.3 W-0.5 W-0.6 W-0.7	height (mm) 2200 2700 Maximum height (mm) 2700 565 2400 930 930 930 930 700 700 700 700 3000 2810	(mm) 1060 2270 Maximum widt 3270 1310 4540 1600 1600 1600 1800 1480 1480 1480 920 700 700	aluminium, single, clear	10%) solid overhang 1500 mm above head of window or door eave 450 mm, 500 mm a of window or glazed door Shading Device (Dimen 10%) eave 450 mm, 300 mm a of window or glazed door solid overhang 1500 mm above head of window or door solid overhang 3450 mm above head of window or door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 350 mm a of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door eave 450 mm, 3250 mm of window or glazed door	above head r glazed above head r above head r glazed above head r glazed above head r glazed above head r above head	not overshadowed not overshadowed Overshadowing not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed >4 m high, 2-5 m away >4 m high, 2-5 m away >4 m high, 2-5 m away >4 m high, 2-5 m away
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This rainwater accordance with, the requirements of all applicable regulatory authorites.	136 • 136 • 136 • 136 • 136 • 136 • 136 • 136 • 136 • 136 • 136 • 136 • 1/a • 1/a </td <td>Target Target Show on DA plans Show on CC plans & spec</td> <td>t Pass</td> <td>North facing W-0.1 W-1.1 Window/glazed door no. 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LEGEND

NOTES
1. Do not scale off this drawing. Use dimensions and architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for hydraulic and or fire protection services only.
6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.
7. Completion of the quality record is evidence that the design and the drawing have been verified.

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~	The applicant must install the At least 1 Bathroom: individ	e following exhaust								
~	At least 1 Bathroom: individ	e following exhaust								
~			systems in the devel	lopment:		84				
	Kitchen: individual fan, duc	At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off								
~		cted to façade or roo	f; Operation control:	manual switch on/off			~	~		
	Laundry: individual fan, du	cted to façade or roo	of; Operation control:	manual switch on/off			<u> </u>			
	Artificial lighting							-		
	The applicant must ensure the			is fluorescent or light emitting diode (I			1	1		
~	following rooms, and where light emitting diode (LED) lan		" appears, the fitting	s for those lights must only be capable	e of accepting fluorescent or					
~	at least 5 of the bedroom	ns / study; dedicated					~	~		
	Energy Commitments	5				Show on	Show on CC/CDC	Certifie		
	at least 1 of the living / di	ining rooms; dedicat	ed			DA plans	plans & specs	check		
	1						· ·	~		
							 	~		
	 all bathrooms/toilets; ded 	dicated					~	~		
	the laundry; dedicated						~	~		
	all hallways; dedicated							~		
	Natural lighting									
		window and/or skylig	ght in the kitchen of t	the dwelling for natural lighting.				~		
	The applicant must install a	window and/or skylig	ght in 3 bathroom(s)/	toilet(s) in the development for natura	l lighting.					
	Other		5. (A)			~	· ·	~		
		gas cooktop & elect	ric oven in the kitche	n of the dwelling.		1		1		
					feed to the DAOIN		~			
	definitions.	t each refrigerator s	pace in the develop	nent so that it is "well ventilated", as d	efined in the BASIX		~			
	The applicant must install a	fixed outdoor clothe	s drying line as part o	of the development.			~			
	Legend									
		licant" means the pe	erson carrying out the	e development.						
					anying the development applic	cation for the p	proposed development (fa		
				10 Miles	e plans and specifications acc	companying the	e application for a const	ruction		
	certificate / complying develo	opment certificate fo	or the proposed deve	lopment.		10 10 22				
			er check" column mu	st be certified by a certifying authority	as having been fulfilled, before	e a final occup	eation certificate(either in	iterim or		
		at least 1 of the living / d the kitchen; dedicated all bathrooms/toilets; ded the laundry; dedicated all hallways; dedicated all hallways; dedicated Natural lighting The applicant must install a The applicant must install a	 the kitchen; dedicated all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated all hallways; dedicated Natural lighting The applicant must install a window and/or skylis The applicant must install a window and/or skylis Other The applicant must install a gas cooktop & elect The applicant must construct each refrigerator st definitions. The applicant must install a fixed outdoor clother Legend In these commitments, "applicant" means the performance of the state of the sta	 at least 1 of the living / dining rooms; dedicated the kitchen; dedicated all bathrooms/toilets; dedicated all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated all hallways; dedicated The applicant must install a window and/or skylight in the kitchen of it The applicant must install a window and/or skylight in 3 bathroom(s). Other The applicant must install a gas cooktop & electric oven in the kitchen The applicant must install a gas cooktop & electric oven in the kitchen The applicant must construct each refrigerator space in the developer definitions. The applicant must install a fixed outdoor clothes drying line as part of the applicant must install a fixed outdoor clothes drying line as part of the development application is to be lodged for the proposed development development application is to be lodged for the proposed development certificate / complying development certificate for the proposed development certificate / complying development certificate for the proposed development certificate / complying development certificate for the proposed development certificate is in the "Show on CC/CDC plans are certificate / complying development certificate for the proposed development certificate for the proposed development certificate is in the "Certifier check" column must in the "Show on CC/CDC plans are certificate / complying development certificate for the proposed development certificate is in the "Show on CC/CDC plans are certificate / complying development certificate for the proposed development certificate for the proposed development certificate for the proposed development certificate / complying development certificate for the proposed development certificate for the proposed development certificate for the proposed development c	 at least 1 of the living / dining rooms; dedicated the kitchen; dedicated all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated all hallways; dedicated all hallways; dedicated The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural Other The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must construct each refrigerator space in the development so that it is "well ventilated", as d definitions. The applicant must install a fixed outdoor clothes drying line as part of the development. Commitments, "applicant" means the person carrying out the development. Commitments identified with a in the "Show on DA plans" column must be shown on the plans accomp development application is to be lodged for the proposed development. Commitments identified with a in the "Show on CC/CDC plans and specs" column must be shown in th certificate / complying development certificate for the proposed development. 	 at least 1 of the living / dining rooms; dedicated the kitchen; dedicated all bathrooms/toilets; dedicated all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated all hallways; dedicated all hallways; dedicated The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. The applicant must install a fixed outdoor clothes drying line as part of the development. Legend In these commitments, "applicant" means the person carrying out the development. Commitments identified with a in the "Show on DA plans" column must be shown on the plans accompanying the development application is to be lodged for the proposed development. Commitments identified with a in the "Show on C/C/DC plans and specs" column must be shown in the plans and specifications accompanying the development certificate for the proposed development. Commitments identified with a	A plans • at least 1 of the living / dining rooms; dedicated • the kitchen; dedicated • all bathrooms/toilets; dedicated • all bathrooms/toilets; dedicated • the laundry; dedicated • all hallways; dedicated • all hallways; dedicated • all hallways; dedicated • The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. • The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. • The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. • The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. • The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. • The applicant must install a fixed outdoor clothes drying line as part of the development. • Commitments, "applicant" means the person carrying out the development. • Commitments identified with a in the "Show on CA/CDC plans and spece" column must be shown in the plans and specifications accompanying th certificate / complying development. • Commitments identified with a in the "Show on CC/CDC plans and spece" column must be shown in the plans and specifications accompanying th certificate / collying development. • Commitments identified with a in the "Show on CC/CDC plans and sp	DA plans plans & specs • at least 1 of the living / dining rooms; dedicated • • the kitcher; dedicated • • all bathrooms/toilets; dedicated • • all hallways; dedicated • • The applicant must instal a window and/or skylight in the kitchen of the dwelling for natural lighting. • • The applicant must instal a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. • • Other • • The applicant must onstruct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX • • The applicant must install a fixed outdoor clothes drying line as part of the development. • • • Cegend • • • • In these commitments, "applicant" means the person carrying out the development. • • • Commitments identified with a		



103 TOWER STREET PANANIA, NSW 2213

DRAWING TITLE

PROJECT

BASIX (LOT 103)

DRAWING NO. DA 0.1.2

ISSUE А

DATE 03 Apr 2023

DRAWN BY JH

REVIEWED BY NF

PROJECT NO. SYD23/381



31B BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM SIGNED:







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LEGEND LOT BOUNDARY PROPOSED SUBDIVISION

DRAWING TITLE SUBDIVISION PLAN







- GROUND FLOOR



LEGEND

LOT BOUNDARY GROSS FLOOR AREA SITE COVERAGE LANDSCAPED AREA PRIVATE OPEN SPACE

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DRAWING TITLE AREA CALCULATION + COMP

PROJECT 103 TOWER STREET PANANIA, NSW 2213

COMPLIANCE TABLE

IO3 TOWER STREET PANANIA NSW 2213 [LOT 5 DP 27642] ZONE: R2 – LOW DENSITY RESIDENTIAL LOT A AREA: 315.38 M≤ LOT B AREA: 313.22 M≤

	CONTROL	PROPOSED 103 TOWER	PROPOSED 103A TOWER
LOT AREA	250M2	313.36 M2	315.52 M2
STOREY LIMIT	2	2	2
SITE FRONTAGE	15M	15.55M	15.55M
HEIGHT OF BUILDINGS	9M	COMPLIES - REFER ELEVATIONS	COMPLIES - REFER ELEVATIONS
FLOOR SPACE RATIO	0.5 : 1	0.5 : 1	0.5 : 1
GROSS FLOOR AREA		168.39 SQM	168.39 SQM
FRONT GROUND FLOOR PRIMARY SETBACK	5.5	6.3M	6.0M
FRONT FIRST FLOOR PRIMARY SETBACK	6.5	9.3M	8.6M
LANDSCAPING – FRONT SETBACK	MIN. 45%	59% (30.9 SQM)	49% (21.2 SQM)
PRIVATE OPEN SPACE	MIN. 80 SQM	COMPLIES	COMPLIES
CARPARKING	MIN 2 PER LOT	2	2

	SCALE						31B BUCKWALL AVENUE GREENACRE, NSW 2190
IPLIANCE TABLE	1:150 @ A2 1:75 @ A1	0.0 1.5	3	4.5 6	7.5 9.0 M		Z 190 CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM
		100115					SIGNED:
	DRAWING NO. DA 1.4	ISSUE A	DATE 03 Apr 2023	DRAWN BY JH	REVIEWED BY NF	PROJECT NO. SYD23/381	



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103 TOWER STREET PANANIA, NSW 2213







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LOT BOUNDARY EXISTING BUILDING NATURAL GROUND X M MAX. BUILDING HEIGHT X M MAX. EXCAVATION DEPTH MSCR MBAL TIM SSM MET SCY SI OPERABLE GLAZING FIXED GLAZING FIXED TRANSLUCENTT GLAZING OPERABLE TRANSLUCENT GLAZING BRICKWORK VERTICAL BRICK WORK HIT & MISS BRICK WORK

METAL SCREENING METAL BALUSTRADE TIMBER FENCING STANDING SEAM CLADDING METAL SCYON CLADDING

DRAWING TITLE PROPOSED NORTH + EAST ELEVATIONS







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LEGEND \exists OG FG FTG OTG BWK1 BWK2 BWK(H&M)

LOT BOUNDARY EXISTING BUILDING NATURAL GROUND X M MAX. BUILDING HEIGHT X M MAX. EXCAVATION DEPTH SI OPERABLE GLAZING FIXED GLAZING FIXED TRANSLUCENTT GLAZING OPERABLE TRANSLUCENT GLAZING BRICKWORK VERTICAL BRICK WORK HIT & MISS BRICK WORK

MSCR MBAL TIM SSM MET SCY

METAL SCREENING METAL BALUSTRADE TIMBER FENCING STANDING SEAM CLADDING METAL SCYON CLADDING

DRAWING TITLE **PROPOSED SOUTH + WEST ELEVATIONS**





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DRAWING TITLE Section AA + BB





NORTH ELEVATION

WEST ELEVATION



GREY BRICK WORK (GBWK)



EXPOSED CONCRETE (CON)





ALUMINIUM BLACK SLATS (MSCR) BLACK TIM GARAGE

POOL GLASS BALUSTRADE

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LEGEND OG FG FG GBWK BWK2 BWK(H&M) MBAL TIM SSM MET REN CON ALU LVRS

OPERABLE GLAZING FIXED GLAZING GREY BRICKWORK VERTICAL BRICK WORK HIT & MISS BRICK WORK METAL SCREENING METAL SCREENING METAL BALUSTRADE TIMBER STANDING SEAM METAL CLADDING METAI METAL RENDER CONCRETE ALUMINIUM LOUVRES

DRAWING TITLE EXTERNAL FINISHES SCHEDULE + MATERIAL SAMPLE BOARD

PROJECT 103 TOWER STREET PANANIA, NSW 2213

GBWK	



NIGHTSKY METAL ROOF (MET)



FRONT BALCONY BALUSTRADE (CON/FG)



DRAWN BY JH

REVIEWED BY NF

5.0

4.0

6.0 M

PROJECT NO. SYD23/381

SIGNED:

31B BUCKWALL AVENUE GREENACRE, NSW 2190 CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM



PLANT SCHEDULE

ACCORD	ING TO RELEVANT DCP CONTR	OLS				
CODE	BOTANIC NAME	COMMON NAME	NATIVE	MATURE SIZE (h × w) (m)	POT SIZE	QUANTITY
TREES						
Hf	Hymenosporum Flavum	Native Frangipani	Yes	7.0 × 5.0	75 litres	2
SHRUBS	5 ¢ ACCENTS					
Ma	Melaleuca armillaris	Ball Honeymyrtle	Yes	1.0 × 2.0	300mm	8
Cm	Clivia Miniata	Belgian Clivia	NO	0.6×0.6	200mm	3
Wf	Westringia fruticosa	Coastal Rosemary	Yes	1.0 × 2.0	300mm	6
GROUN	D COVER					
Ss	Stenotaphrum secundatum	Matilda Soft Leaf Buffalo	YES			236.4 SQ.M

PLANTING LEGEND









Hymenosporum Flavum NATIVE FRANGIPANI

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Belgian Clivia

LOT BOUNDARY PROPOSED SUBDIVISION EXISTING BUILDING LANDSCAPE / DEEP SOIL

LEGEND

 \Box





MATILDA BUFFALO

DRAWING TITLE LANDSCAPE PLAN

Westringia fruticosa

PROJECT

Coastal Rosemary



103 TOWER STREET PANANIA, NSW 2213





ADE CLOTH (IF REQUIRED) ACHED, HELD IN PLACE WITH ICRETE FEET

BRACING IS PERMISSIBLE V IE TPZ. INSTALLATION OF SI

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE ORIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-STET BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

SHRUB PLANTING DETAIL



TURF PLANTING DETAIL



31B BUCKWALL AVENUE GREENACRE, NSW 2190

CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM SIGNED:

DRAWING NO. DA 7.1

ISSUE А

DATE

03 Apr 2023

DRAWN BY JH

NF

REVIEWED BY

PROJECT NO. SYD23/381

CONSULTANTS NOUHAD FARAH B.E, MIE AUST, NER, CPENG

MEMBERSHIP NUMBER: 3312640



SEDIMENT CONTROL NOTES

- 1. All erosion and sedimentation control measures, including revegetation and storage
- of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
- 2. All drainage works shall be constructed and stabilized as early as possible during development.
- 3. Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench. 4. All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full
- of soil materials, including the maintenance period.
- 5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
- 6. Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate. 7. Filter shall be constructed by stretching a filter fabric (propex) or approved equivalent between post at 3.0m centres, fabric shall be buried 150mm along its lower edge.



SANDBAG KERB INLET SEDIMENT TRAP DETAIL (NTS)

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DRAWING TITLE WASTE MANAGEMENT PLAN

LOT BOUNDARY GENERAL WASTE BIN RECYCLABLE WASTE BIN ORGANIC WASTE BIN BUILDING WASTE AREA DURING CONSTRUCTION PERIOD ROUTE TO BIN STORAGE AREA ROUTE TO WASTE COLLECTION POINT

PROJECT

103 TOWER STREET PANANIA, NSW 2213



SEDIMENT FENCE DETAIL (NTS)

TEMPORARY CONSTRUCTION EXIT DETAIL (NTS)



2190 SIGNED:

CONTACT: 0434 575 819 NLCONSULTANTS@OUTLOOK.COM

31B BUCKWALL AVENUE GREENACRE, NSW

MARK	WINDOW STYLE	LEVEL	WIDTH	HEIGHT	GLAZING	SILL HEIGHT	HEAD HEIGHT	
W = 01	FIXED	GROUND FLOOR	960	2800		200	3000	POWDER COAT ALUMINIUM
W- 0.2	SLIDING	GROUND FLOOR	1800	1200	CLEAR	1500	2700	POWDER COAT ALUMINIUM
V- 0.3	SLIDING	GROUND FLOOR	1480	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
W- 0.4	SLIDING	GROUND FLOOR	1480	700	FROSTED	2000	2700	POWDER COAT ALUMINIUM
N- 0.5	SLIDING	GROUND FLOOR	920	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
N- 06	FIXED	GROUND FLOOR	700	3000	CLEAR	0	3000	POWDER COAT ALUMINIUM
N- 0.7	SLIDING	GROUND FLOOR	2810	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
N- 0.8	SLIDING	GROUND FLOOR	4540	2400	CLEAR	0	2400	POWDER COAT ALUMINIUM
V- 0.9	SLIDING	GROUND FLOOR	4540	2400	CLEAR	0	2400	POWDER COAT ALUMINIUM
N- 0.10	SLIDING	GROUND FLOOR	2810	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
V- 0.11	FIXED	GROUND FLOOR	700	3000	CLEAR	0	3000	POWDER COAT ALUMINIUM
V- 0.12	SLIDING	GROUND FLOOR	920	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
V- 0.13	SLIDING	GROUND FLOOR	1480	700	FROSTED	2000	2700	POWDER COAT ALUMINIUM
V- 0.14	SLIDING	GROUND FLOOR	1380	700	CLEAR	2000	2700	POWDER COAT ALUMINIUM
V- 0.15	SLIDING	GROUND FLOOR	1800	1200	CLEAR	1500	2700	POWDER COAT ALUMINIUM
V- 0.16	SLIDING	GROUND FLOOR	960	2800	CLEAR	200	3000	POWDER COAT ALUMINIUM
V- 0.17	FIXED	GROUND FLOOR	1310	565	CLEAR	2435	3000	POWDER COAT ALUMINIUM
V- 0.18	FIXED	GROUND FLOOR	1310	565	CLEAR	2435	3000	POWDER COAT ALUMINIUM
V- 1.1	FIXED	FIRST FLOOR	2270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
V- 1.2	SLIDING	FIRST FLOOR	3270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
V- 1.3	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.4	SLIDING	FIRST FLOOR	900	930	FROSTED	1500	2430	POWDER COAT ALUMINIUM
V- 1.5	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.6	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.7	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.8	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.9	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.10	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.11	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.12	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.13	SLIDING	FIRST FLOOR	1910	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.14	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.15	SLIDING	FIRST FLOOR	900	930	FROSTED	1500	2430	POWDER COAT ALUMINIUM
V- 1.16	SLIDING	FIRST FLOOR	1600	930	CLEAR	1500	2430	POWDER COAT ALUMINIUM
V- 1.17	SLIDING	FIRST FLOOR	3270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
V- 1.18	FIXED	FIRST FLOOR	2270	2700	CLEAR	0	2700	POWDER COAT ALUMINIUM
N- 2.1	FIXED	ROOF	1000	1000	CLEAR	N/A	N/A	POWDER COAT ALUMINIUM
N- 2.2	FIXED	ROOF	1000	1000	CLEAR	N/A	N/A	POWDER COAT ALUMINIUM



DRIVEWAY PROFILE 1 - 103A TOWER ST.

MARK	LEVEL	WIDTH	HEIGHT	FINISH	ROOM NAME
D = 0.1	GROUND FLOOR	1210	2400	ALUMINIUM + GLASS	ENTRY
D- 0.2	GROUND FLOOR	2800	2400	COLOURBOND	GARAGE
D- 0.3	GROUND FLOOR	820	2040	TIMBER	GARAGE
D- 0.4	GROUND FLOOR	820	2040	TIMBER	GUEST
D- 0.5	GROUND FLOOR	820	2040	TIMBER	STORAGE
D- 0.6	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.7	GROUND FLOOR	820	2040	TIMBER	LAUNDRY
D- 0.8	GROUND FLOOR	3400	2400	ALUMINIUM + GLASS	LIVING
D- 0.9	GROUND FLOOR	3400	2400	ALUMINIUM + GLASS	LIVING
D- 0.10	GROUND FLOOR	820	2040	TIMBER	LAUNDRY
D- 0.11	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.12	GROUND FLOOR	820	2040	TIMBER	STORAGE
D- 0.13	GROUND FLOOR	820	2040	TIMBER	GUEST
D- 0.14	GROUND FLOOR	820	2040	TIMBER	GARAGE
D- 0.15	GROUND FLOOR	1210	2400	ALUMINIUM + GLASS	ENTRY
D- 0.16	GROUND FLOOR	2800	2400	COLOURBOND	GARAGE
D- 0.17	GROUND FLOOR	820	2040	TIMBER	BATH
D- 0.18	GROUND FLOOR	820	2040	TIMBER	BATH
D- 1.1	FIRST FLOOR	2170	2700	ALUMINIUM + GLASS	MASTER BALCONY
D- 1.2	FIRST FLOOR	820	2040	TIMBER	ENSUITE
D- 1.3	FIRST FLOOR	820	2040	TIMBER	MASTER
D- 1.4	FIRST FLOOR	820	2040	TIMBER	BED 1
D- 1.5	FIRST FLOOR	820	2040	TIMBER	BATH
D– 1.6	FIRST FLOOR	820	2040	TIMBER	BED 2
D- 1.7	FIRST FLOOR	820	2040	TIMBER	BED 3
D- 1.8	FIRST FLOOR	820	2040	TIMBER	BED 2
D- 1.9	FIRST FLOOR	820	2040	TIMBER	BED 3
D- 1.10	FIRST FLOOR	820	2040	TIMBER	BATH
D- 1.11	FIRST FLOOR	820	2040	TIMBER	BED 1
D- 1.12	FIRST FLOOR	820	2040	TIMBER	MASTER
D- 1.13	FIRST FLOOR	820	2040	TIMBER	ENSUITE
D- 1.14	FIRST FLOOR	2170	2700	ALUMINIUM + GLASS	MASTER BALCONY



DRIVEWAY PROFILE 2 - 103 TOWER ST.

DRAWING TITLE WINDOW + DOOR SCHEDULE

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4. Authorities made exclusion and are to be checked.

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LEGEND

DIVEWAY PROFILES



